

TOPOGRAPHIC & BOUNDARY SURVEY

measure success

LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED REC. NO. 20101007002053)
 LOT 37, EL DORADO ESTATES, ACCORDING TO THE PLAT THEREOF,
 RECORDED IN VOLUME 62 OF PLATS, PAGE 7, IN KING COUNTY,
 STATE OF WASHINGTON.

BASIS OF BEARINGS

N 29°48'12" E BETWEEN FOUND CENTERLINE MONUMENTATION
 ALONG 89TH AVE SE PER R1

REFERENCES

R1. EL DORADO ESTATES PLAT, VOL. 62, PG. 7,
 RECORDS OF KING COUNTY, WASHINGTON.

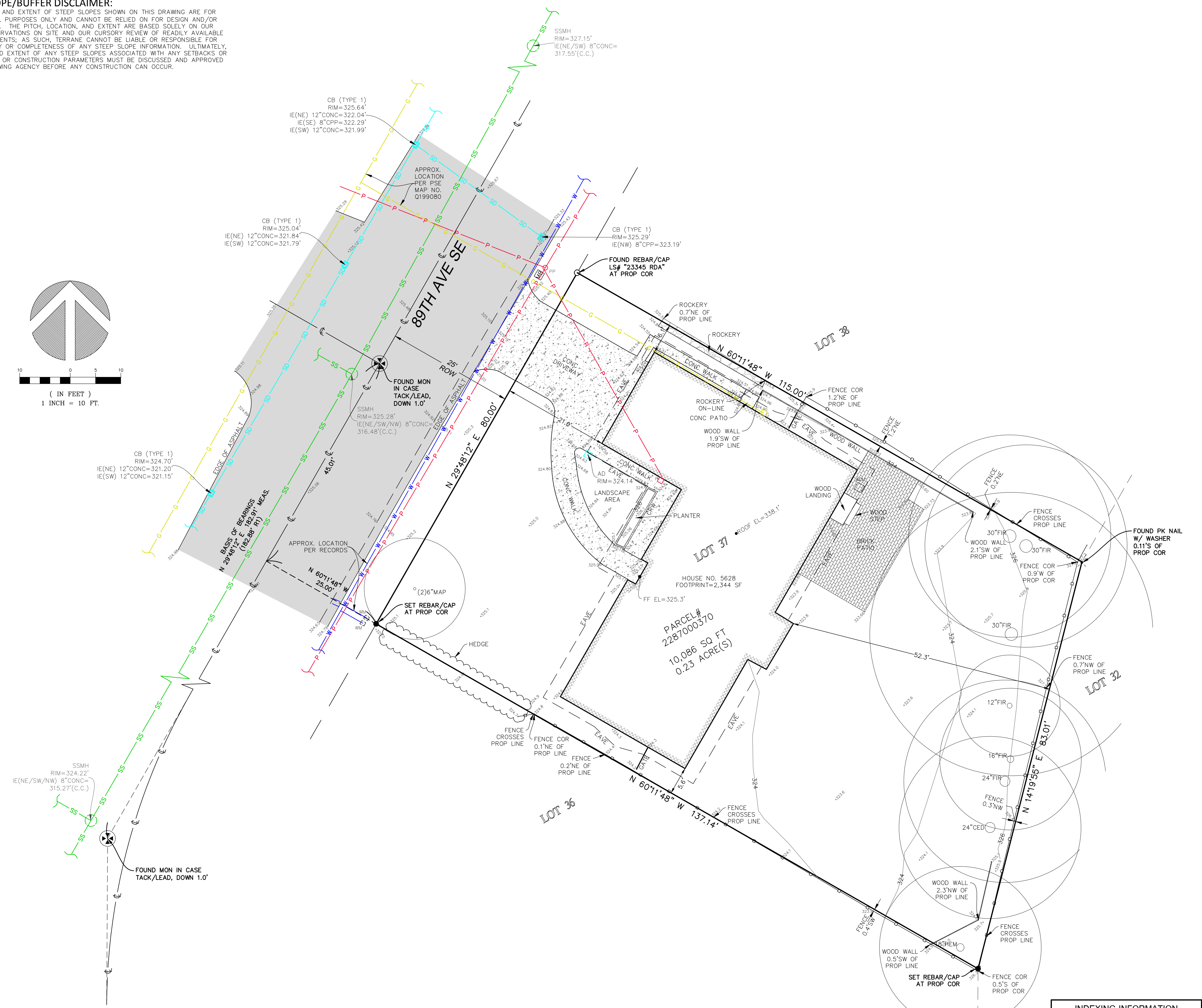
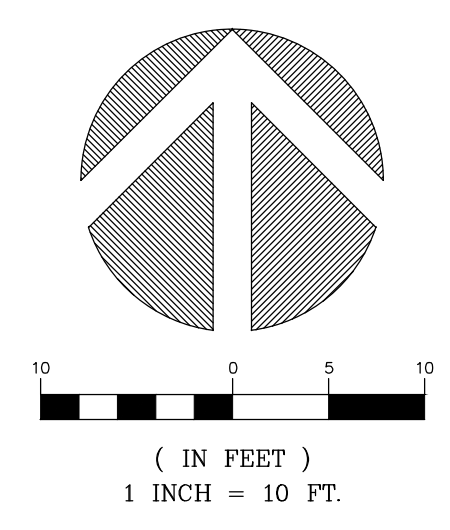
VERTICAL DATUM

NAVD88 PER CITY OF MERCER ISLAND BENCHMARK #27440
 (D.B. ID# 47209)
 ELEV: 323.242'

SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JANUARY OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 2287000370
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 10,086 S.F. (0.23 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

STEEP SLOPE/BUFFER DISCLAIMER:
 THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS. AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



LEGEND

- | | | | |
|--|-----------------------|--|--------------------------|
| | AREA DRAIN | | MONUMENT IN CASE (FOUND) |
| | ASPHALT SURFACE | | POWER METER |
| | BRICK SURFACE | | POWER (OVERHEAD) |
| | BUILDING | | POWER POLE |
| | CENTERLINE ROW | | REBAR AS NOTED (FOUND) |
| | CONCRETE SURFACE | | REBAR & CAP (SET) |
| | RETAINING WALL | | ROCKERY |
| | AIR CONDITIONING UNIT | | SEWER LINE |
| | FENCE LINE (WOOD) | | SEWER MANHOLE |
| | GAS LINE | | STORM DRAIN LINE |
| | GAS METER | | TREE (AS NOTED) |
| | HEDGE FOLIAGE LINE | | WATER LINE |
| | INLET (TYPE 1) | | WATER METER |
| | NAIL AS NOTED | | CONCRETE RETAINING WALL |
| | MAILBOX (RESIDENTIAL) | | |

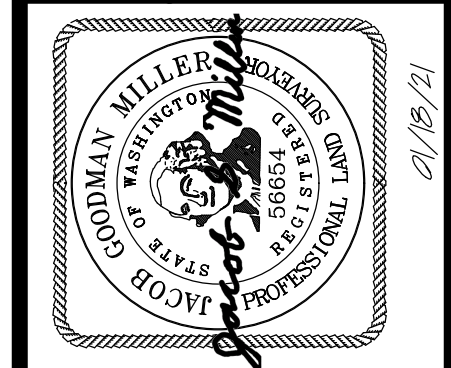
VICINITY MAP



INDEXING INFORMATION			
NE 1/4	SW 1/4		
NW 1/4	NE 1/4	SECTION: 19	
SE 1/4	SW 1/4	TOWNSHIP: 24N	
		RANGE: 05E	COUNTY: KING

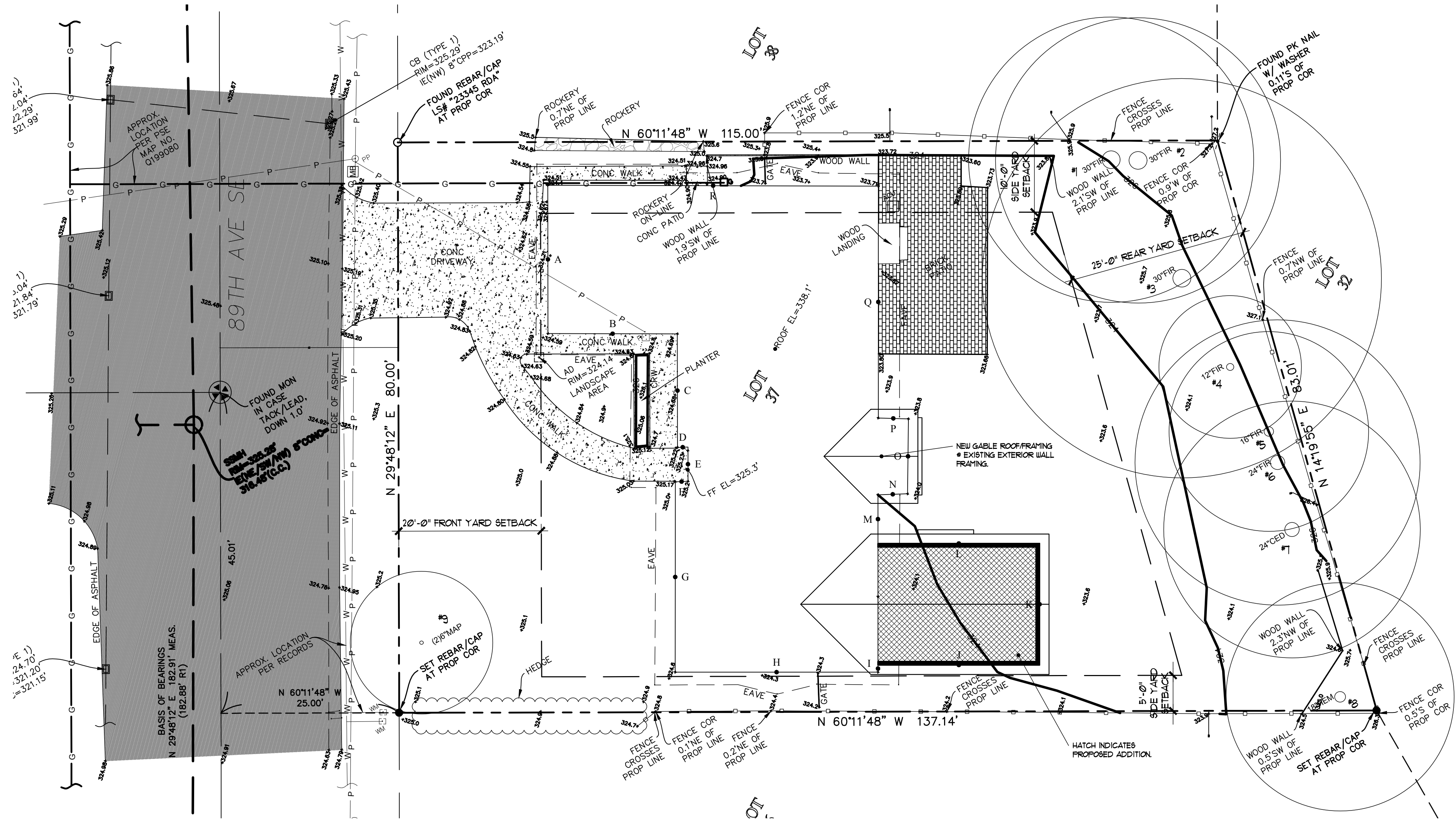
TOPOGRAPHIC & BOUNDARY SURVEY
 PARCEL NO. 2287000370

SIRIANNI RESIDENCE
 5628 89TH AVE SE
 MERCER ISLAND, WA 98040



Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4488 support@terrane.net
 www.terrane.net

JOB NUMBER:	202416
DATE:	01/18/21
DRAFTED BY:	JPH
CHECKED BY:	JGM/CSP
SCALE:	1" = 10'
REVISION HISTORY	
SHEET NUMBER	1 OF 1



1 PROPOSED ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"

PROPOSED HARDSCAPE SURFACE COVERAGE

TOTAL LOT AREA:	10,086 SF.
ALLOWABLE 40%:	4,034 SF.
EXISTING UNCOVERED PATIO +	335 SF.
EXISTING WALKWAY +	181 SF.
EXISTING RETAINING WALL +	30 SF.
TOTAL +	546 SF. OR 361/4 SF REMAINING OK

PROPOSED BUILDING LOT COVERAGE

TOTAL LOT AREA:	10,086 SF.
ALLOWABLE 40%:	4,034 SF.
EXISTING HOUSE +	2,999 SF.
PROPOSED HOUSE ADDITION +	436 SF.
EXISTING DRIVEWAY +	311 SF.
TOTAL EXISTING + PROPOSED HOUSE + DRIVEWAY +	3,746 SF.
CURRENT PROPOSED LOT COVERAGE	31.1% OR 288.4 SF REMAINING (OK)

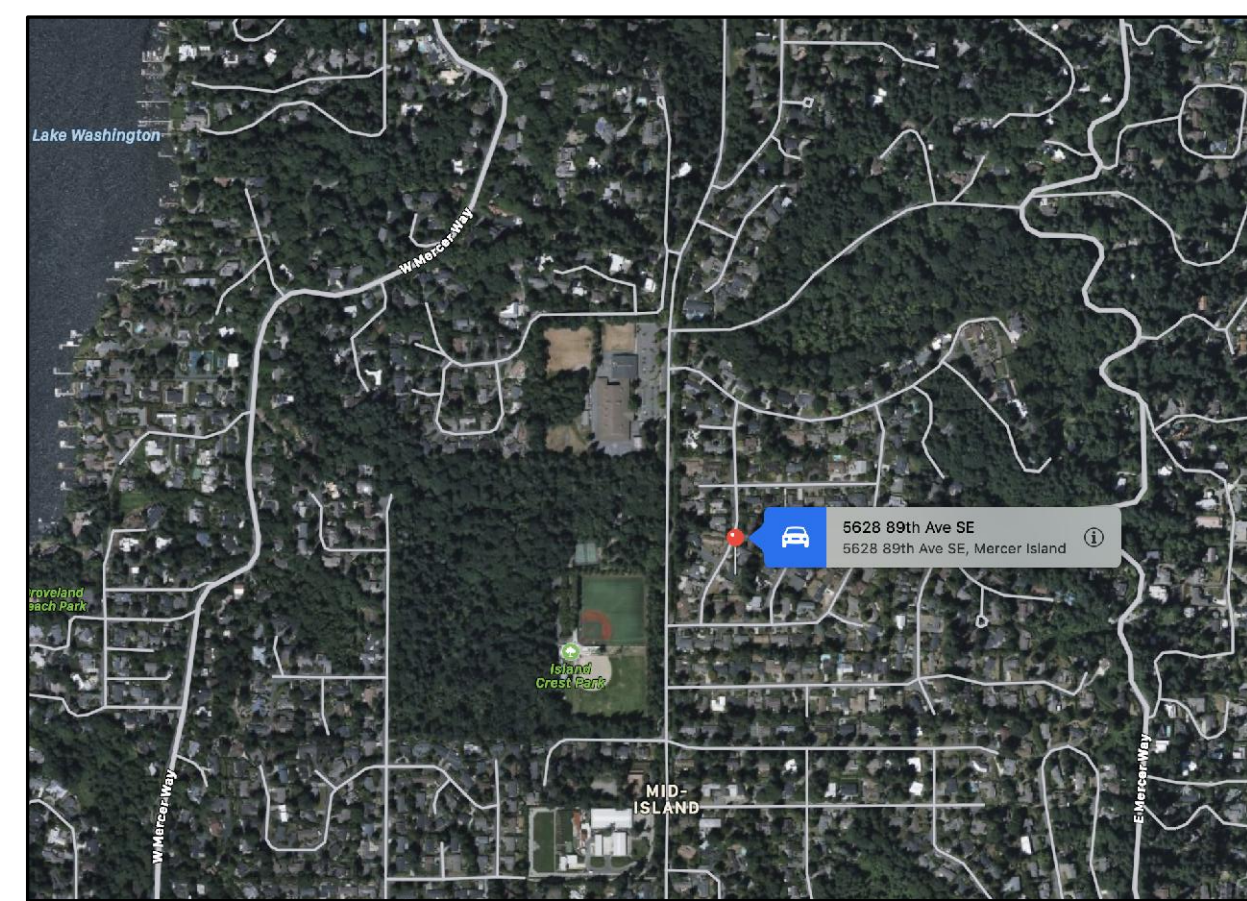
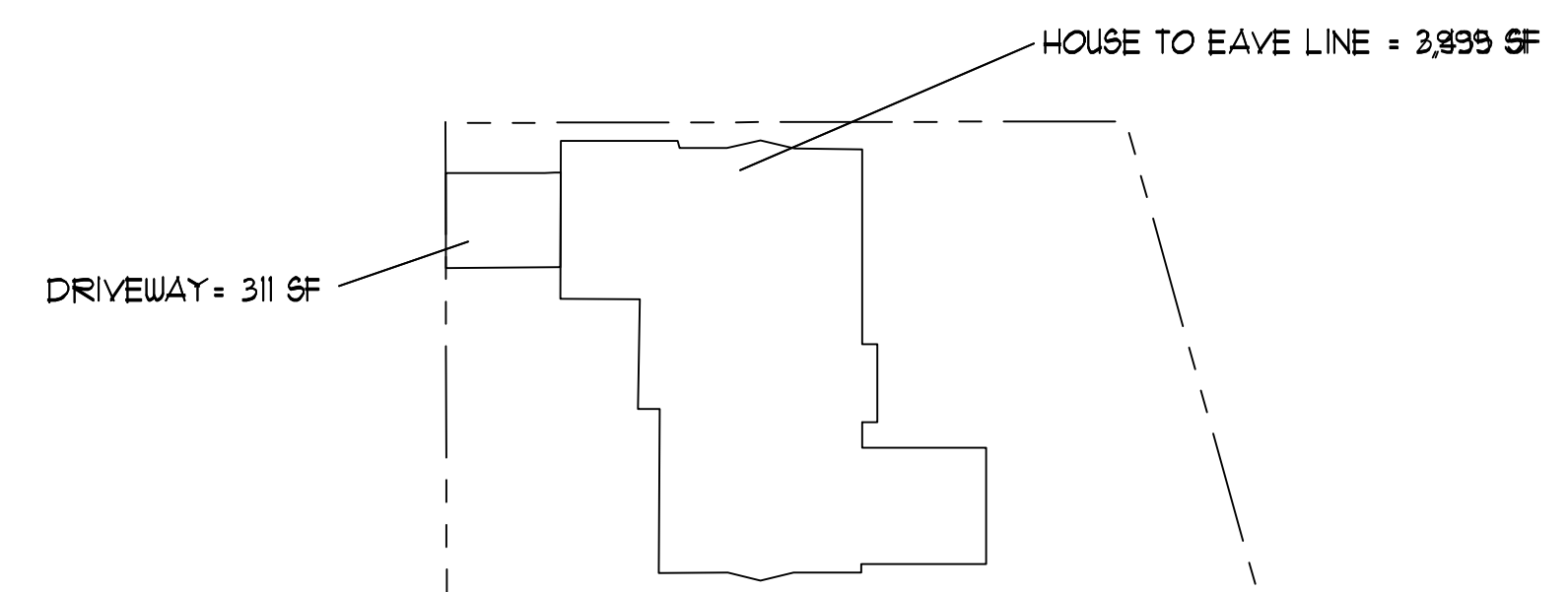
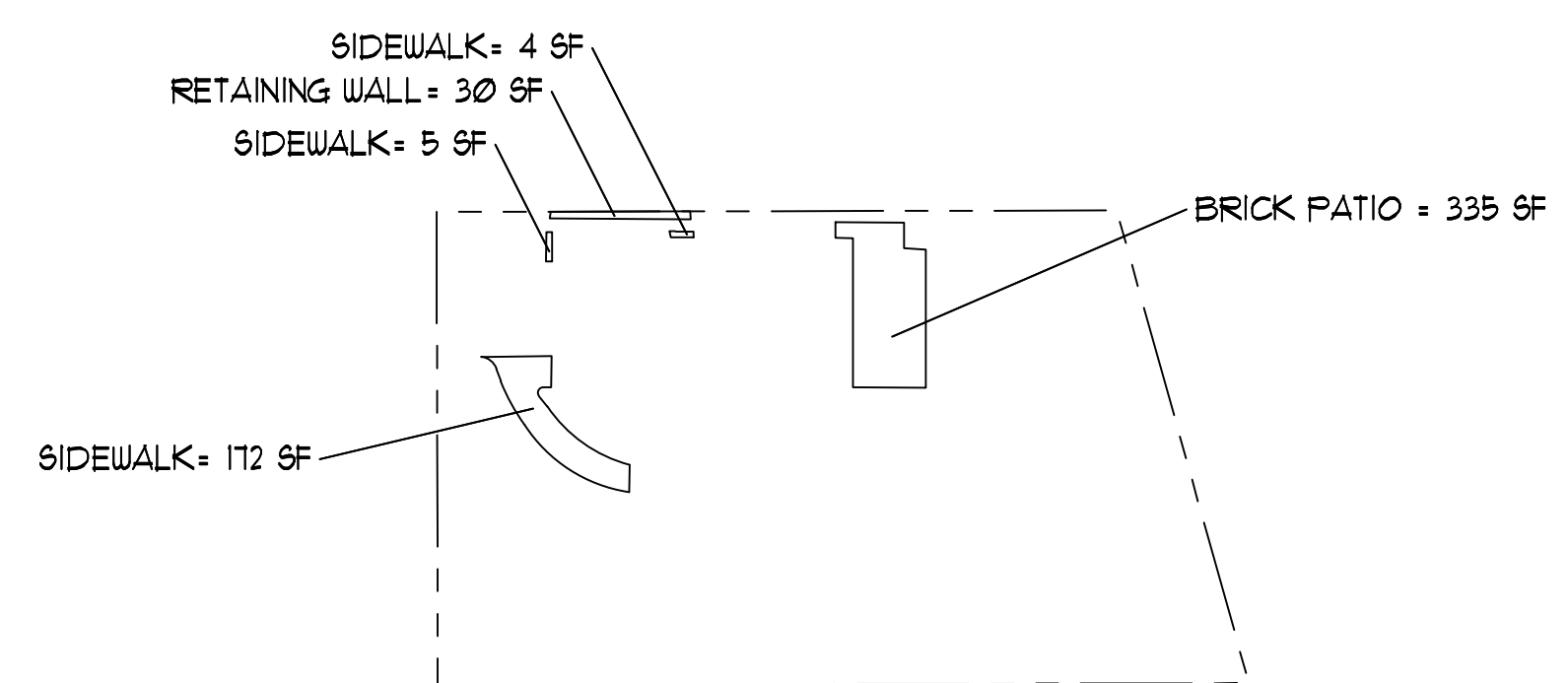
Peluso Addition
Gross Floor Area
Revised 03/08/2022

Allowable Area:	Lot Area	Code factor	4,034
Proposed Areas:			
Lower Floor:			0
Main Floor:			2,244
Upper Floor:			0
Garages:			482
Covered Deck:			0
Total Area:			2,726
Proposed % of Lot Area:			27%

Peluso Addition
Building Height Calculations
Revised 03/08/2022

Point	Length	Mid. Elev.	Product
A	20.83	324.71	6763.71
B	18.17	324.80	5897.98
C	15.92	324.68	5168.91
D	1.50	325.22	487.83
E	4.83	325.22	1570.81
F	1.75	325.20	569.10
G	26.67	324.80	8662.42
H	28.42	324.30	9216.61
I	1.00	234.20	234.20
J	22.67	324.10	7347.35
K	17.00	323.70	5502.90
L	22.67	323.80	7340.55
M	6.83	324.10	2213.60
N	4.17	324.00	1351.08
O	10.50	323.90	3400.95
P	4.25	323.80	1376.15
Q	32.50	323.84	10524.80
R	46.33	324.90	15052.62
	286.01		92687.55

Ave. Bldg. Elevation: 324.05
Height Allowed: 30.00
Allowable Height: 354.05



PROJECT ADDRESS
5628 89th Ave SE
MERCER ISLAND, WASHINGTON 98040

ZONING CLASSIFICATION
CITY OF MERCER ISLAND: R96

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(PER STATUTORY WARRANTY DEED RECORDING # 2010001001053)
LOT 31, EL DORADO ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 62 OF PLATS, PAGE 1, IN KING COUNTY, STATE OF WASHINGTON
PARCEL NO.: 2281000310

VICINITY PLAN

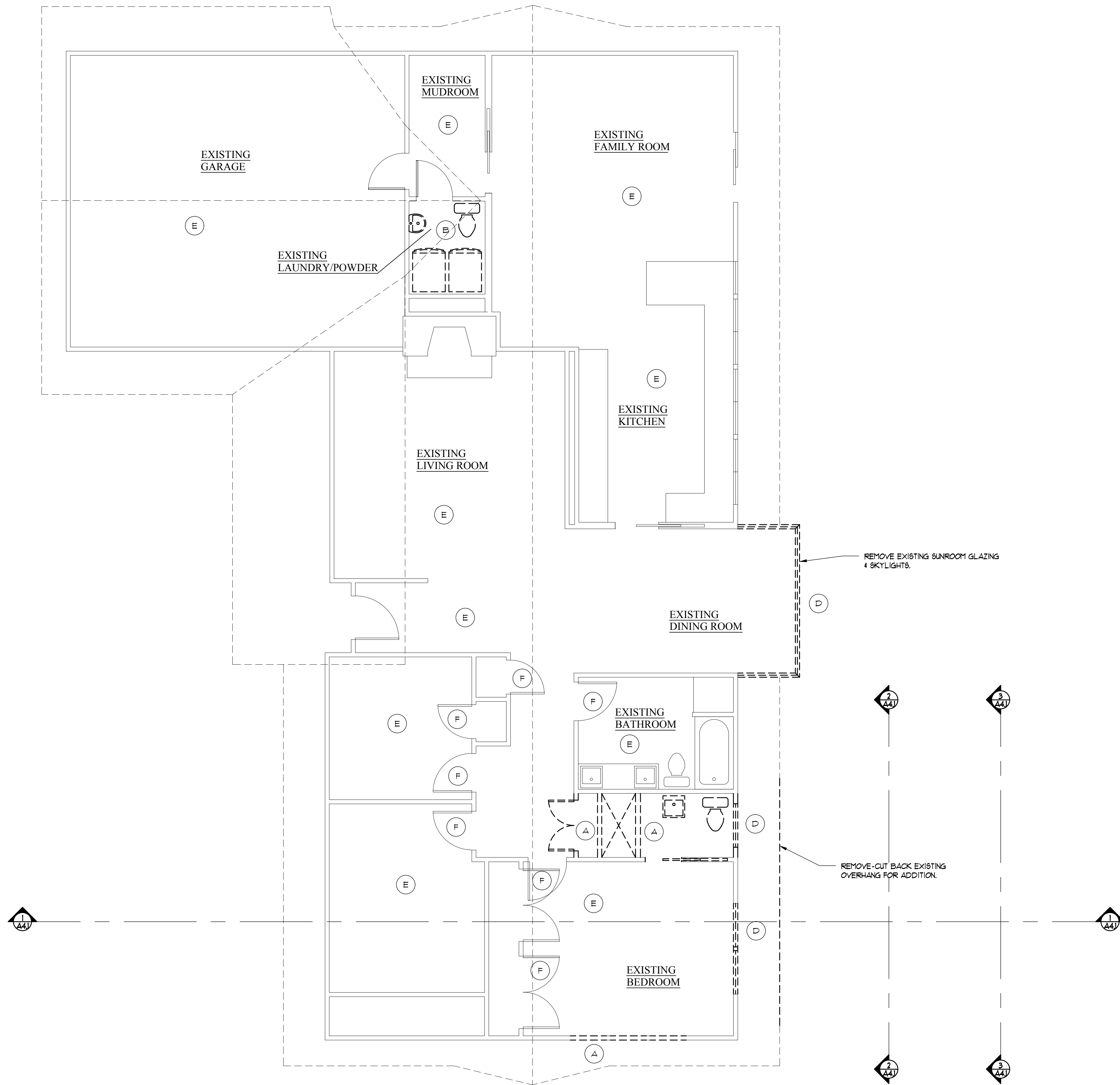
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MERCER ISLAND, WA 98040

NO.	DATE	REVISION
	03.10.22	PERMIT SUB.
	DATE:	03/10/2022
	JOB NUMBER:	2109
	PM:	DKG
	FILE:	A1.1

ARCHITECTURAL SITE PLAN

A1.1



- SELECTIVE DEMOLITION NOTES**
- (A) REMOVE EXTERIOR/INTERIOR WALLS AND PARTITIONS IN THIS AREA AS INDICATED.
 - (B) REMOVE EXISTING WASHER/DRYER, SINK, TOILET AND FINISHES. - COORDINATE W/ OWNER
 - (C) REMOVE EXISTING PLUMBING FIXTURES AND FINISHES.
 - (D) REMOVE EXISTING WINDOWS.
 - (E) EXISTING FINISHES TO REMAIN.
 - (F) EXISTING DOOR TO REMAIN.

1 MAIN FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



WALL LEGEND:

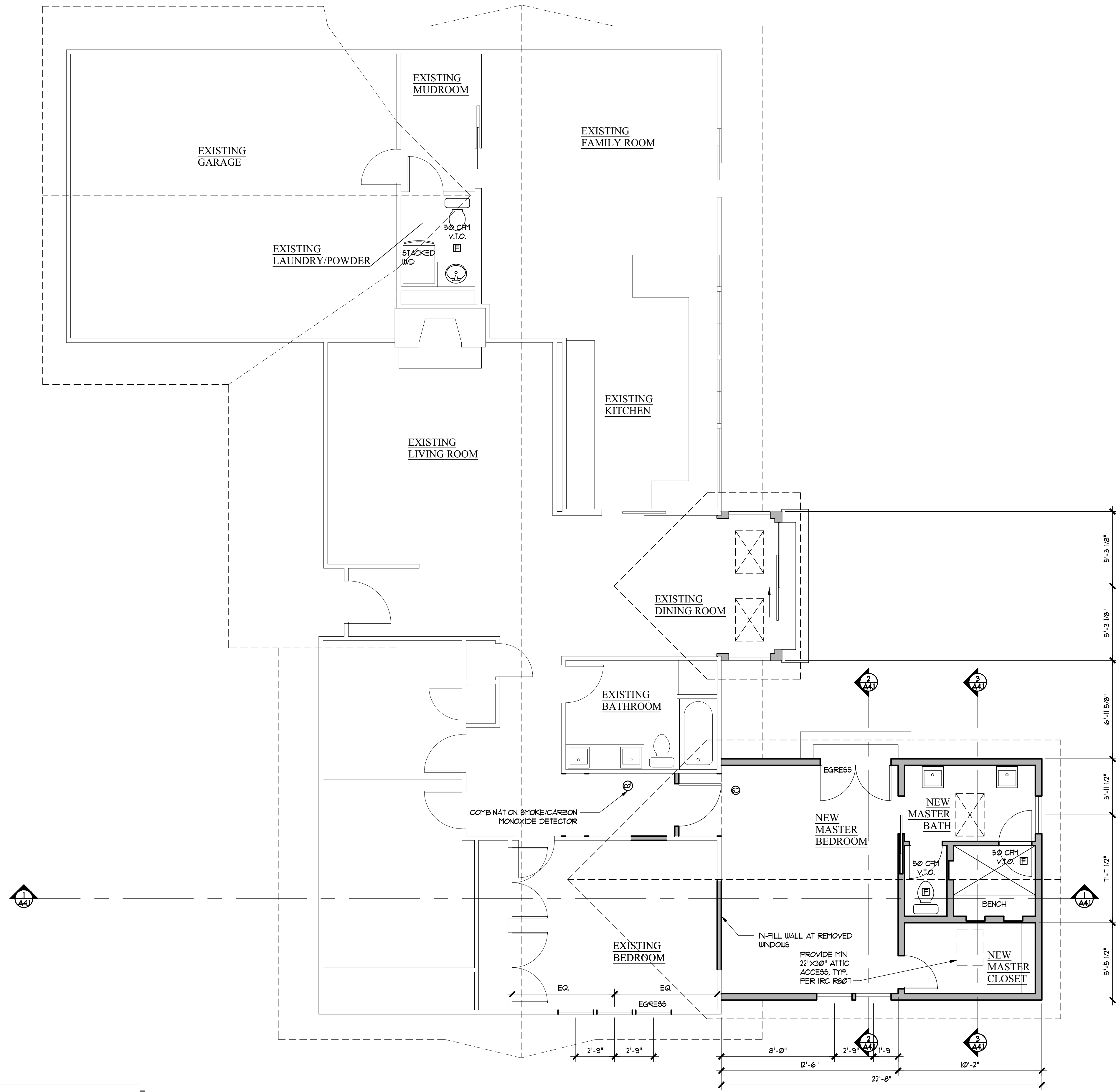
	EXISTING TO REMAIN
	EXISTING TO BE MODIFIED
	EXISTING WALL TO BE REMOVED
	NEW WALL

NO.	DATE	REVISION

MAIN FLOOR DEMO PLAN

A2.2D

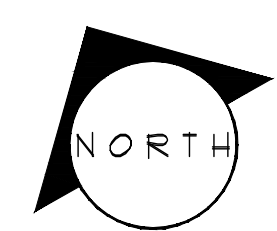
X|D



WALL LEGEND:

	EXISTING TO REMAIN
	EXISTING TO BE MODIFIED
	EXISTING WALL TO BE REMOVED
	NEW WALL

1 PROPOSED MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 0 1 2 4 8 12 FT.

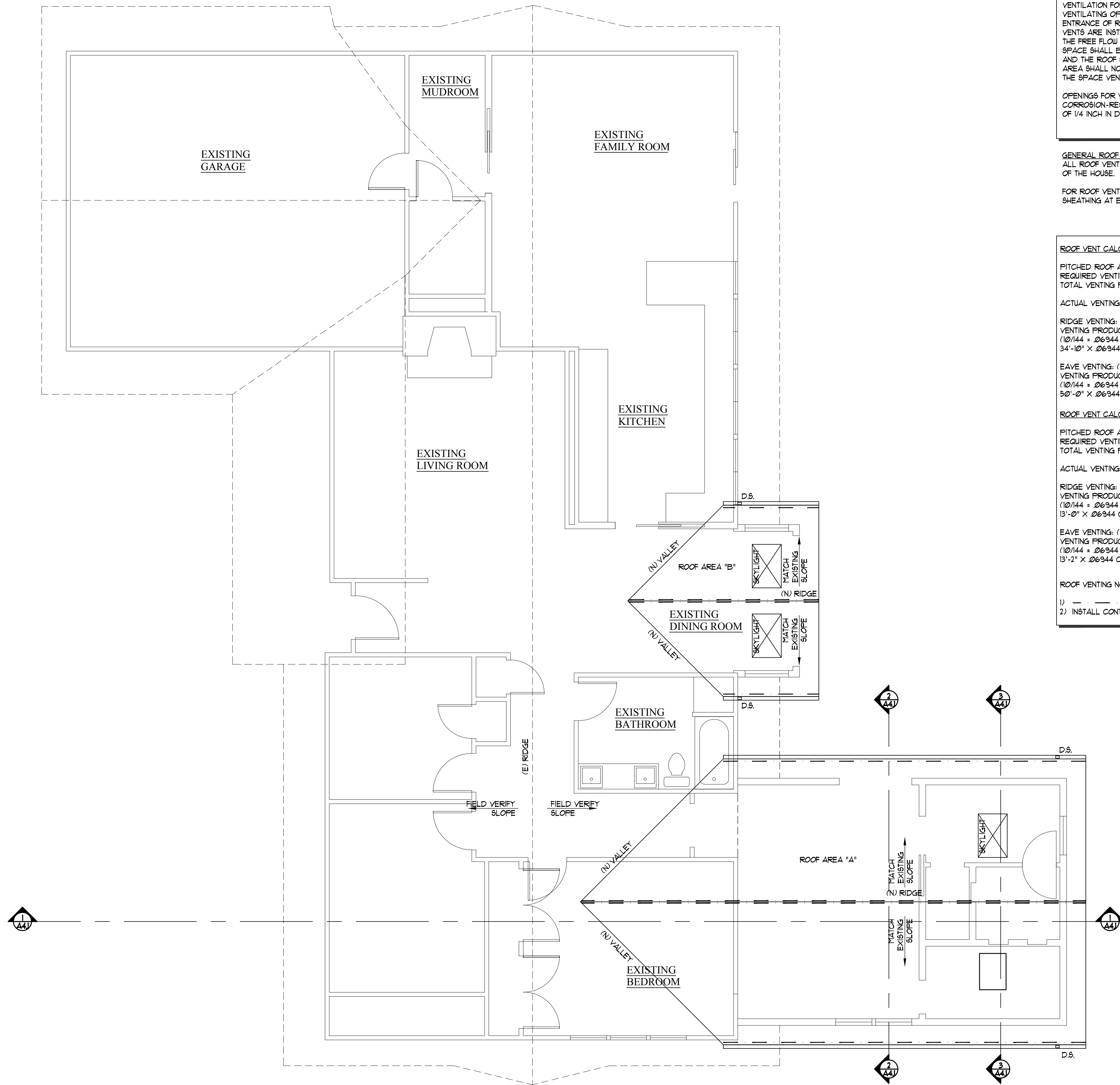


- GENERAL NOTES**
- COORDINATE WITH OWNER ON ADDING SECOND HVAC ZONE TO BEDROOMS.
 - COORDINATE WITH OWNER ON RELOCATING EXISTING CABLE CONNECTION TO NEW LOCATION PER OWNER.
 - ADD SOUND INSULATION BETWEEN NEW MASTER BEDROOM AND EXISTING BEDROOM. SOUND INSULATION TO BE ADDED THROUGH OUT ENTIRE WALL AREA BETWEEN ROOMS. ADD QUIETEROCK OR EQ TO MASTER BEDROOM SIDE OF WALL. COORDINATE SPECIFIC WITH OWNER/ARCHITECT.
 - GENERAL CONTRACTOR TO PROVIDE NECESSARY G.W.B. IN EXISTING GARAGE LOCATED AT EXISTING MECHANICAL ALCOVE/CORNER.

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FILE:	xFPM	

PROPOSED MAIN FLOOR PLAN

A2.2



VENTILATION NOTES:
 ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1 INCH OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/80 OF THE AREA OF THE SPACE VENTILATED.
 OPENINGS FOR VENTILATION SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4 INCH IN DIMENSION.

GENERAL ROOF NOTES:
 ALL ROOF VENTING PENETRATIONS WILL BE ON THE SOUTH SIDE OF THE HOUSE.
 FOR ROOF VENTING AT OVERFRAMED AREAS, DRILL ROOF SHEATHING AT EAVE WITH (3) 2" HOLES IN EACH TRUSS BAY.

ROOF VENT CALCULATIONS:

PITCHED ROOF AREA "A":	386.2 SF
REQUIRED VENTING AREA:	1/300 (386.2) = 1.3 SF VENT
TOTAL VENTING PROVIDED:	5.892 SF

ACTUAL VENTING AREA:
 RIDGE VENTING: (40%-50% REQUIRED, 3'-0" ABOVE EAVE) = 0.52 SF - 0.65 SF
 VENTING PRODUCT: COR-A-VENT 9-400 = 10 SQ.IN. NFVA/LINEAL FOOT (10/144 = 0.6944 SQ. FT.)
 34'-10" X 0.6944 CONTINUOUS RIDGE VENT = 2.42 SF
 EAVE VENTING: (50% REQUIRED AT EAVE) = 0.65 SF MIN
 VENTING PRODUCT: COR-A-VENT 9-400 = 10 SQ.IN. NFVA/LINEAL FOOT (10/144 = 0.6944 SQ. FT.)
 50'-0" X 0.6944 CONTINUOUS RIDGE VENT = 3.472 SF

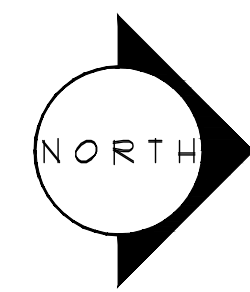
ROOF VENT CALCULATIONS:

PITCHED ROOF AREA "B":	45 SF
REQUIRED VENTING AREA:	1/300 (45) = 0.15 SF VENT
TOTAL VENTING PROVIDED:	1.814 SF

ACTUAL VENTING AREA:
 RIDGE VENTING: (40%-50% REQUIRED, 3'-0" ABOVE EAVE) = 0.26 SF - 0.275 SF
 VENTING PRODUCT: COR-A-VENT 9-400 = 10 SQ.IN. NFVA/LINEAL FOOT (10/144 = 0.6944 SQ. FT.)
 13'-0" X 0.6944 CONTINUOUS RIDGE VENT = 0.9 SF
 EAVE VENTING: (50% REQUIRED AT EAVE) = 0.075 SF MIN
 VENTING PRODUCT: COR-A-VENT 9-400 = 10 SQ.IN. NFVA/LINEAL FOOT (10/144 = 0.6944 SQ. FT.)
 13'-2" X 0.6944 CONTINUOUS RIDGE VENT = 0.914 SF

ROOF VENTING NOTES:
 1) - - - - - LINE OF VENTING
 2) INSTALL CONTINUOUS RIDGE VENTS.

1 ROOF PLAN
 SCALE: 1/4" = 1'-0"



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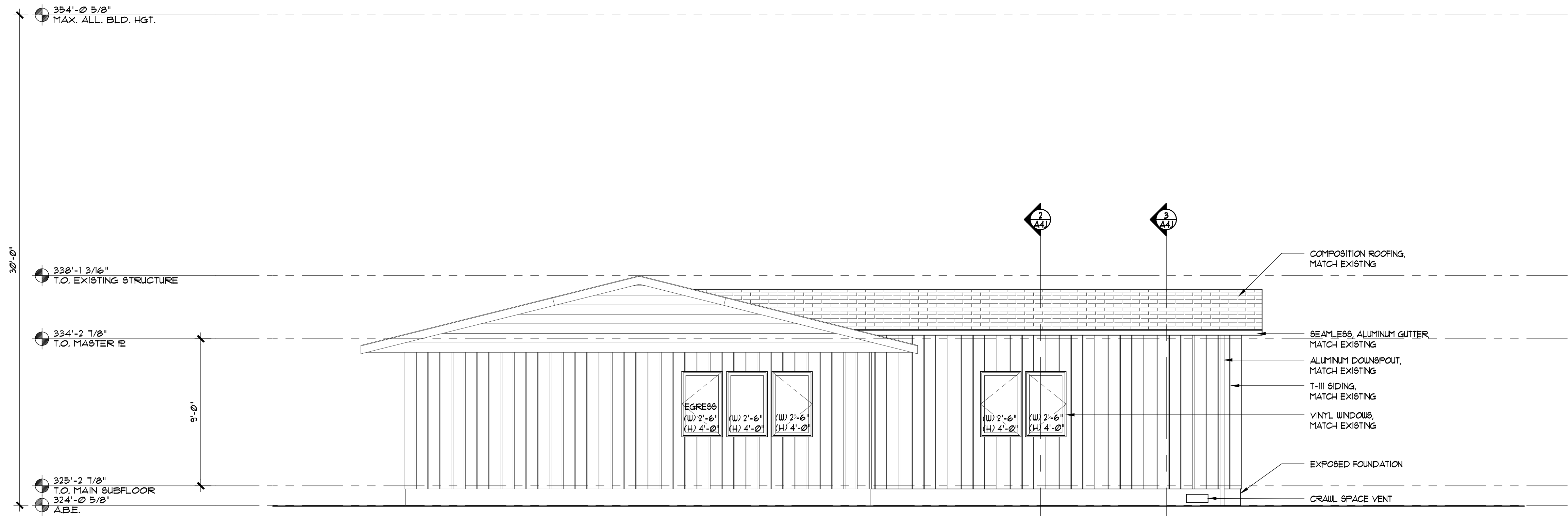
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 JOB NUMBER: 2109
 PM: DKG
 FILE: A2.4

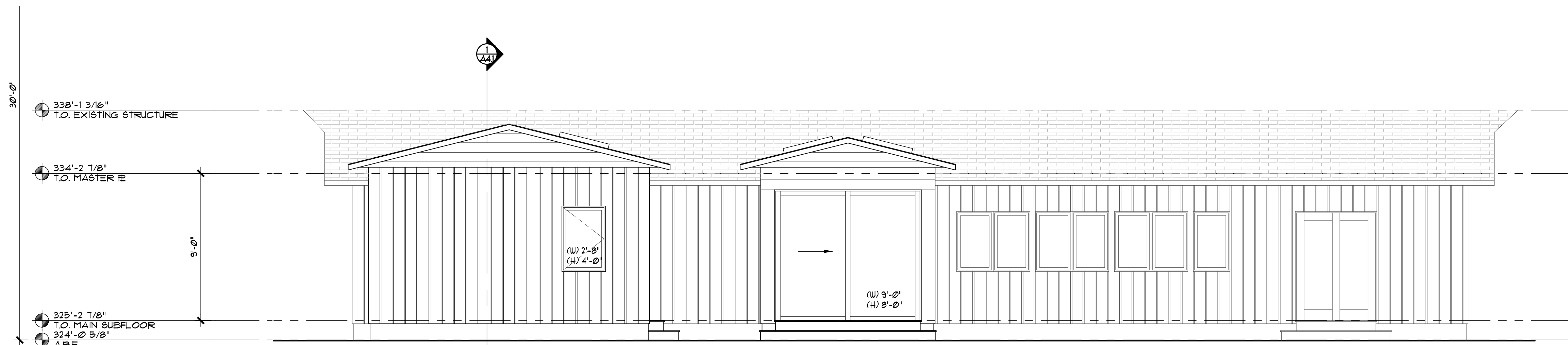
PROPOSED ROOF PLAN

A2.4

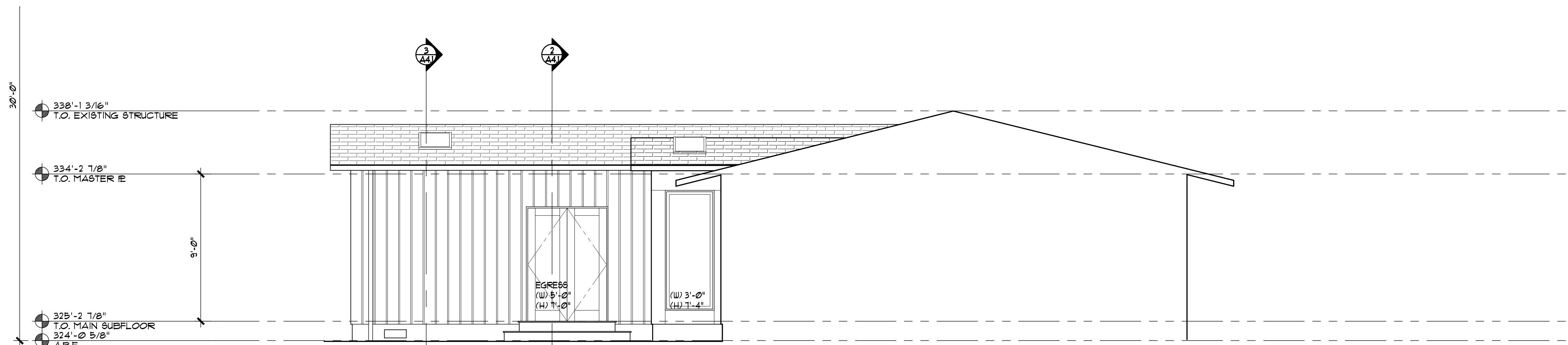
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1 PROPOSED SOUTH EXTERIOR ELEVATION SCALE: 1/4" = 1'-0"



2 PROPOSED EAST EXTERIOR ELEVATION SCALE: 1/4" = 1'-0"

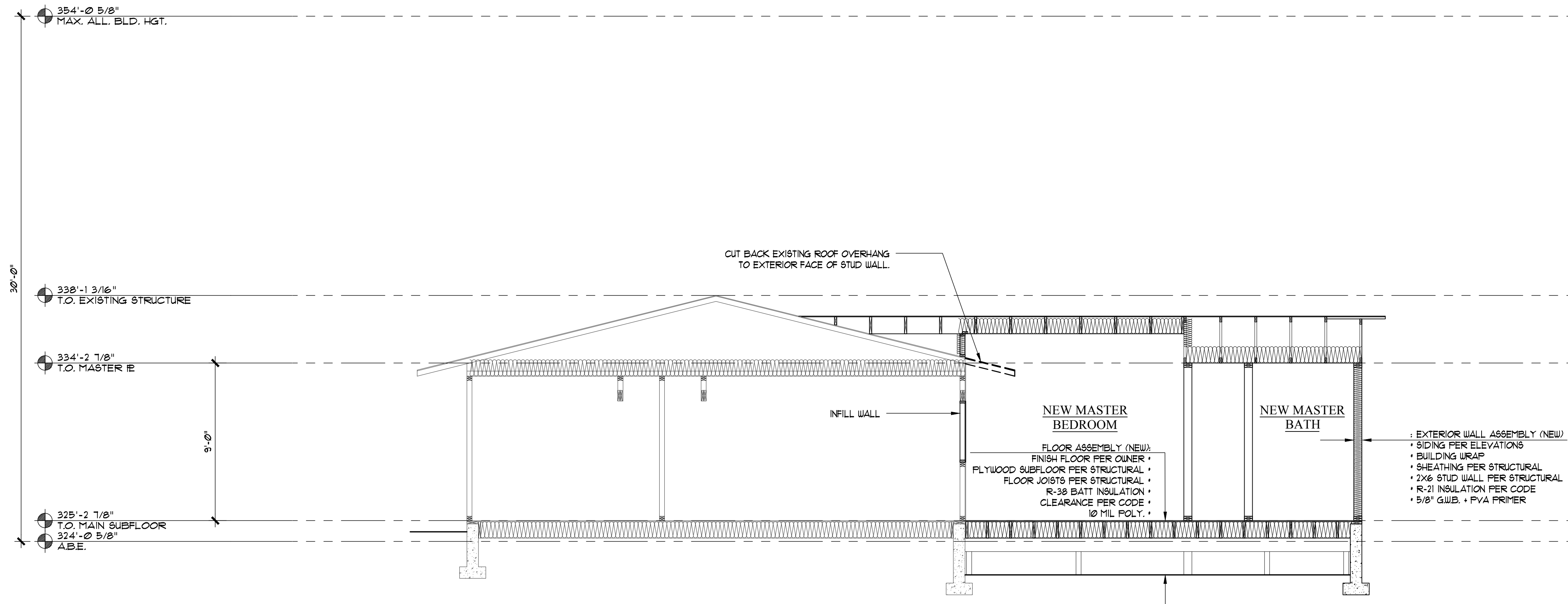


3 PROPOSED NORTH EXTERIOR ELEVATION SCALE: 1/4" = 1'-0"

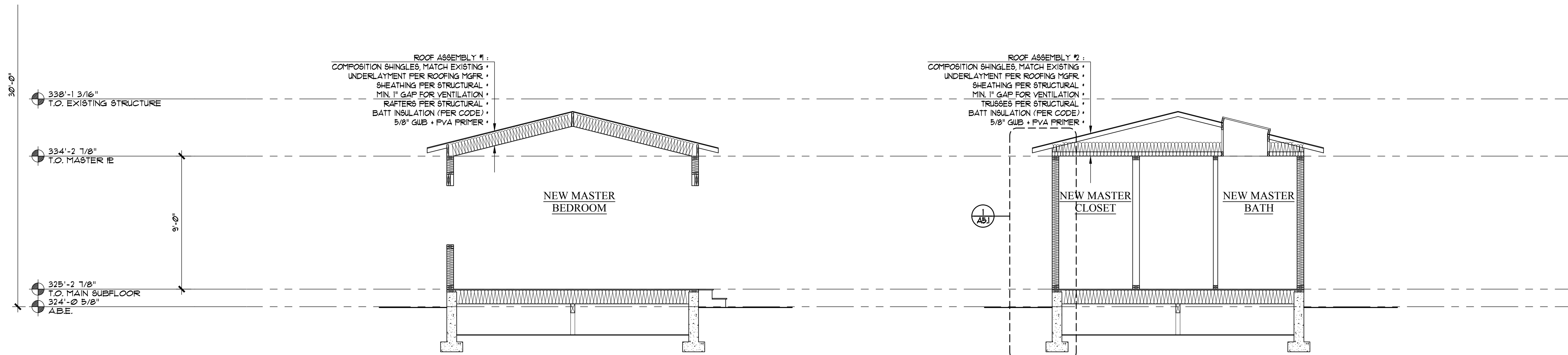
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PM:	DKG	
FILE:	A3.1	

EXTERIOR ELEVATIONS

A3.1



1 PROPOSED BUILDING SECTION SCALE: 1/4" = 1'-0"



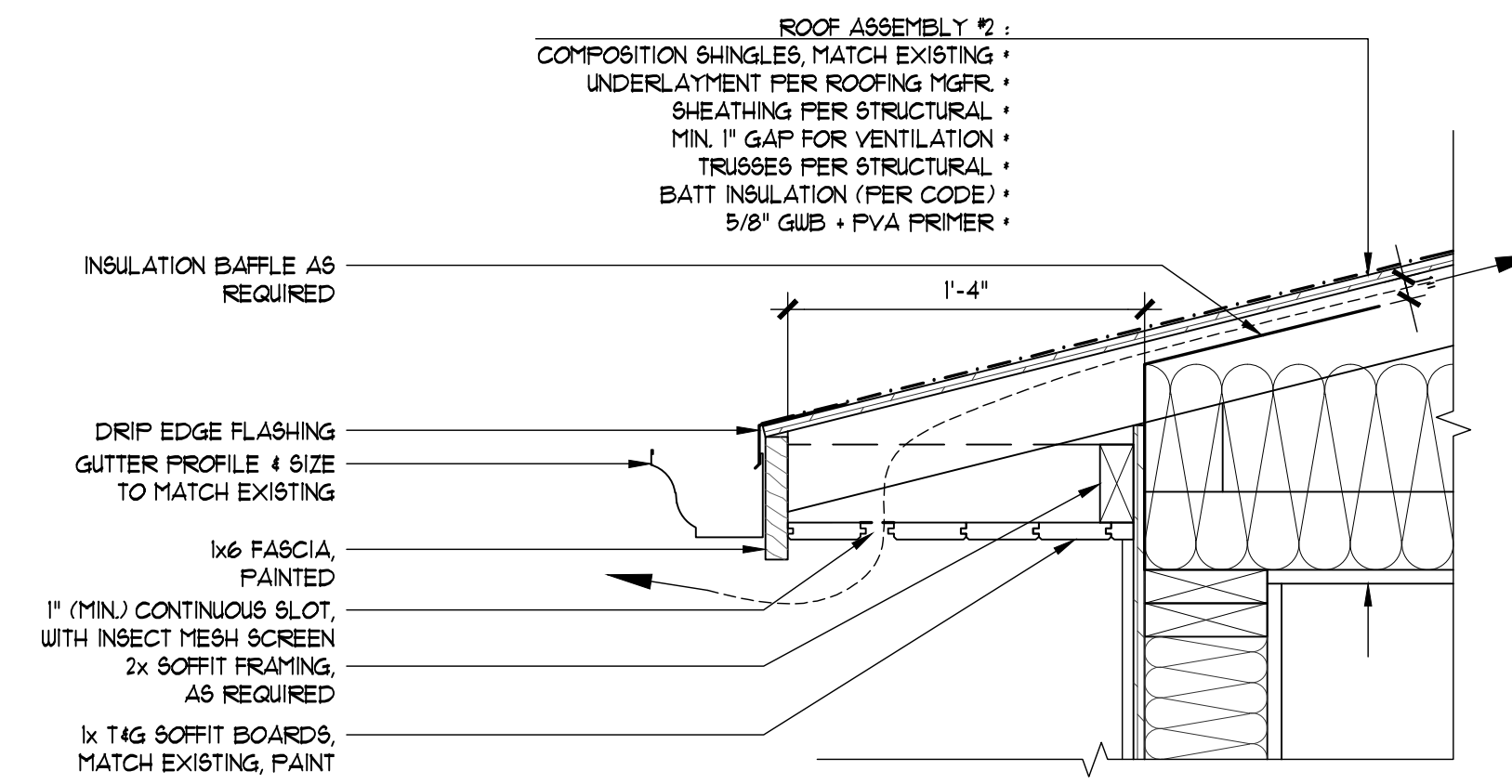
2 PROPOSED BUILDING SECTION SCALE: 1/4" = 1'-0"

3 PROPOSED BUILDING SECTION SCALE: 1/4" = 1'-0"

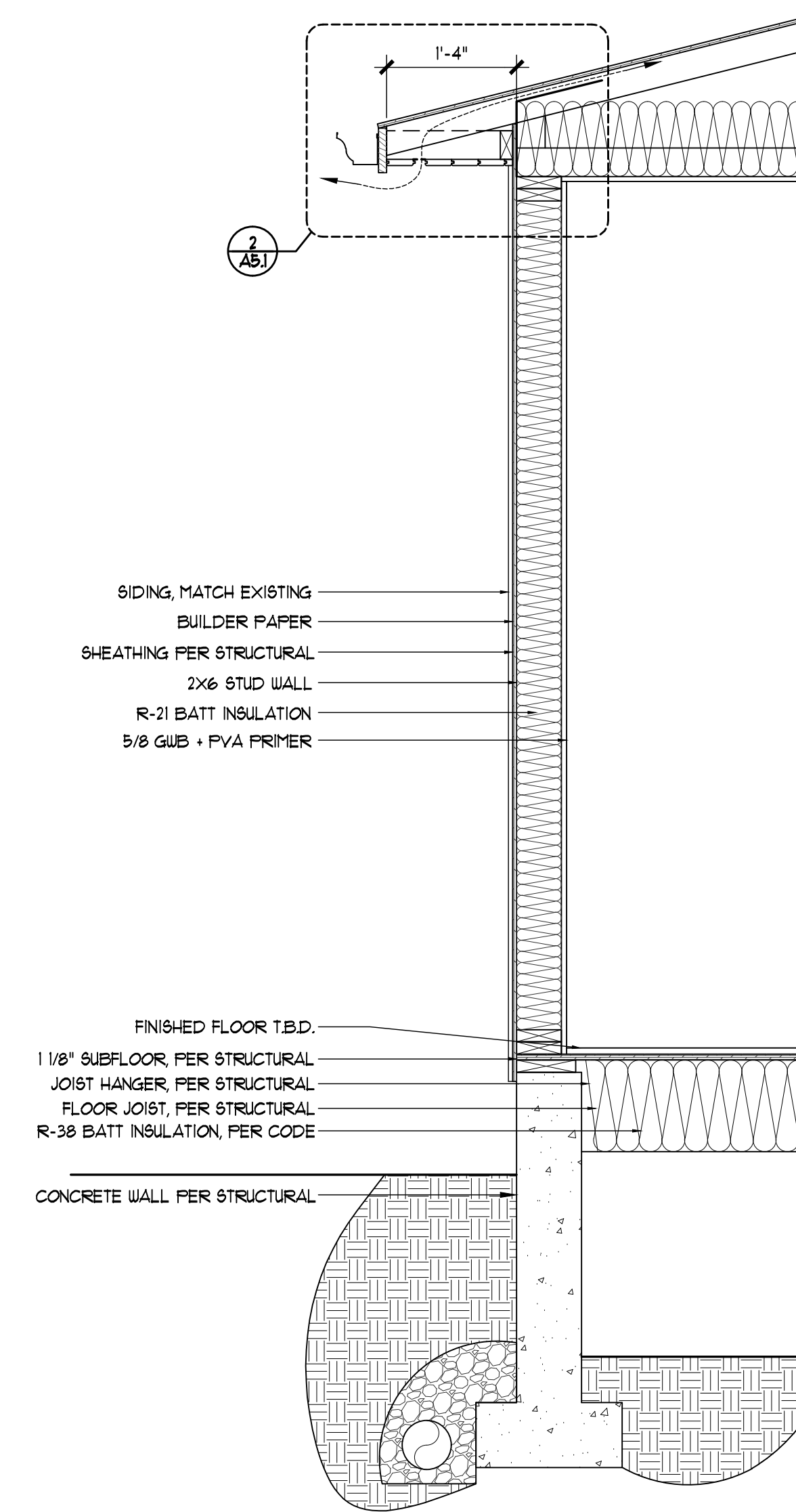
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	FILE:	A4.1

BUILDING SECTIONS

A4.1



2 TYP. EAVE DETAIL
 SCALE: 1 1/2" = 1'-0"



1 TYP. WALL SECTION
 SCALE: 3/4" = 1'-0"

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FILE:	A5.1	

EXTERIOR
 DETAILS

A5.1

STRUCTURAL NOTES

CODE:
DESIGN IS IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODE (I.B.C.) AS AMENDED BY THE LOCAL BUILDING DEPARTMENT.

LIVE LOADS:
ROOF..... 25 PSF
FLOOR..... 40 PSF
DECKS..... 60 PSF

DEAD LOADS:
ROOF..... 15 PSF
FLOOR..... 15 PSF
DECKS..... 15 PSF

LATERAL:
WIND..... BASIC WIND SPEED, 110 MPH
(ASCE 7-16 Ch. 26-27)
(DIRECTIONAL PROCEDURE)
SEISMIC.....
(ASCE 7-16 Ch. 12.14)
(SIMPLIFIED METHOD)

FOUNDATIONS:
ASSUMED BEARING CAPACITY OF 1500PSF. ALL EXTERIOR FOOTINGS SHALL EXTEND A MINIMUM OF 1'-6" BELOW ADJACENT EXTERIOR FINISHED GRADE.

CAST-IN-PLACE CONCRETE:
F_c = 2500 PSI @ 28 DAYS. MINIMUM 5½ SACKS OF CEMENT PER CUBIC YARD OF CONCRETE AND A MAXIMUM OF 6¾ GALLONS OF WATER PER 94# SACK OF CEMENT. MAXIMUM SIZED AGGREGATE IS 1" MAXIMUM SLUMP IS 4". ALL PHASES OF WORK PERTAINING TO THE CONCRETE CONSTRUCTION SHALL CONFORM TO THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE. ALL REINFORCED STEEL DOWELS, ANCHOR BOLTS AND OTHER INSERTS SHALL BE SECURED IN POSITION PRIOR TO POURING CONCRETE. ANCHOR BOLTS FOR SILL PLATES TO FOUNDATION WALLS SHALL BE A MINIMUM OF ¾" WITH A MINIMUM OF 7" EMBEDMENT INTO CONCRETE AND A MAXIMUM SPACING OF 48" O.C. MINIMUM OF 2 BOLTS PER SILL PLATE. ONE BOLT TO BE PLACED WITHIN 12" OF EACH END OF THE SILL PLATE.

(CODE ALTERNATIVE R402.2 5½ SACK 2500PSI CONCRETE MIXES IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE SECTION 1904.2 ARE EQUIVALENT TO 3000 PSI CONCRETE FOR WEATHERING POTENTIAL. IN ADDITION AIR-ENTRAINMENT IS NOT REQUIRED TO ADDRESS WEATHERING.)

REINFORCING STEEL:
ALL REINFORCING STEEL SHALL BE PLACED IN CONFORMANCE WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION BY CRSI. DEFORMED REINFORCING STEEL BARS SHALL CONFORM TO ASTM GRADE 60. ALL REINFORCING BAR BENDS SHALL BE MADE COLD, WITH A MINIMUM RADIUS OF 6 BAR DIAMETERS. CORNER BARS (2'-0" BEND) SHALL BE PROVIDED FOR ALL HORIZONTAL REINFORCEMENT. LAP ALL BARS A MINIMUM OF 48 BAR DIAMETERS UNLESS NOTED OTHERWISE. UNLESS NOTED OTHERWISE ON THE DRAWINGS REINFORCING STEEL SHALL HAVE THE FOLLOWING MINIMUM COVER:

CONCRETE CAST AGAINST EARTH..... 3"
CONCRETE EXPOSED TO EARTH OR WEATHER
#6 THRU #18 BARS..... 2"
#5 BAR AND SMALLER..... 1½"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER
#11 BAR AND SMALLER..... ¾"
SLAB ON GRADE (FROM THE SURFACE)..... 1½"

WELDED WIRE FABRIC (WWF):
WWF SHALL CONFORM TO ASTM A-185. WWF SHALL BE LAPPED ONE CROSSWIRE PLUS 2" (i.e. 8" FOR 6X6 MESH). WWF SHALL BE CHAINED IN POSITION WITH A MAXIMUM CHAIR SPACING OF 4'

PRESSURE TREATED WOOD:
ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, EARTH, OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED WOOD IN ACCORDANCE WITH AWPA U1 AND M4 STANDARDS.

MISCELLANEOUS HARDWARE:
ALL MISCELLANEOUS HANGERS AND HARDWARE TO BE SIMPSON OR APPROVED EQUAL. ALL HANGERS SHALL BE FASTENED TO WOOD WITH PROPER NAILS AND ALL NAIL HOLES FILLED. ALL NAILS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED PER ASTM STANDARD 153 AND I.B.C. SECTION 2304.9.5. ALL METAL CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE ZMAX (HDG PER ASTM A653, CLASS G-185) OR EQUAL.

FLOOR SHEATHING:
FLOOR SHEATHING SHALL BE ¾" TONGUE AND GROOVE, A.P.A. RATED SHEATHING WITH A SPAN RATING OF 48/24. WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS. UNLESS NOTED OTHERWISE, NAIL WITH 10d COMMON NAILS @ 6" O.C. AT SUPPORTED PANEL EDGES, AND @ 12" O.C. AT INTERMEDIATE SUPPORTS.

ROOF SHEATHING:
ROOF SHEATHING SHALL BE 1½" A.P.A. RATED PLYWOOD OR 7/8" OSB A.P.A. RATED SHEATHING WITH A SPAN RATING OF 32/16. WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS. UNLESS NOTED OTHERWISE, NAIL WITH 8d COMMON NAILS @ 6" O.C. AT SUPPORTED PANEL EDGES, AND @ 12" O.C. AT INTERMEDIATE SUPPORTS.

WALL SHEATHING:
WALL SHEATHING SHALL BE ¾" A.P.A. RATED PLYWOOD OR 7/8" OSB A.P.A. RATED SHEATHING WITH A SPAN RATING OF 24/0. PANEL END JOINTS SHALL OCCUR AT SUPPORTS. NAIL ALL PANEL EDGES WITH 8d COMMON NAILS @ 6" O.C. AT SUPPORTED PANEL EDGES AND @ 12" O.C. AT INTERMEDIATE SUPPORTS.

FLOOR FRAMING:
PROVIDE FULL DEPTH BLOCKING FOR JOIST AT THE SUPPORTS. FLUSH BEAMS (FB) AND HEADERS NOT CALLED OUT ON THE PLANS SHALL BE (2) 2x8 DOUG-FIR #2. ALL LAMINATED BEAMS SHALL BE SPIKED TOGETHER WITH 16d NAILS @ 6" O.C. STAGGERED

BEARING WALL FRAMING:
ALL DOOR AND WINDOW HEADERS NOT CALLED OUT ON THE PLANS SHALL BE 4x8 DOUGLAS-FIR #2 WITH (1) CRIPPLE STUD AND (1) KING STUD ON EACH END FOR OPENINGS 5' AND LESS AND (2) CRIPPLE STUDS AND (1) KING STUD ON EACH END FOR OPENINGS GREATER THAN 5'. ALL COLUMNS NOT CALLED OUT ON THE PLANS SHALL BE A MINIMUM OF TWO LAMINATED STUDS. NAIL LAMINATED COLUMNS TOGETHER WITH (2) 16d NAILS @ 12" O.C. WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATES AND BOTTOM PLATES TO EACH STUD WITH MINIMUM (2) 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d NAILS AT 16" O.C. STAGGERED. LAP AND FACE NAIL NAIL TOP PLATES WITH (3) 16d NAILS @ EACH CORNER AND INTERSECTION. STAGGER TOP PLATE SPLICES A MINIMUM OF 48" AND NAIL W/ (4) 16d NAILS EACH SIDE OF SPLICE. FACE NAIL BOTTOM PLATE WITH (2) 16d NAILS AT 16" O.C. OR PER SHEARWALL SCHEDULE. PROVIDE (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER AT CONTACT SURFACES BETWEEN ALL WOOD AND CONCRETE.

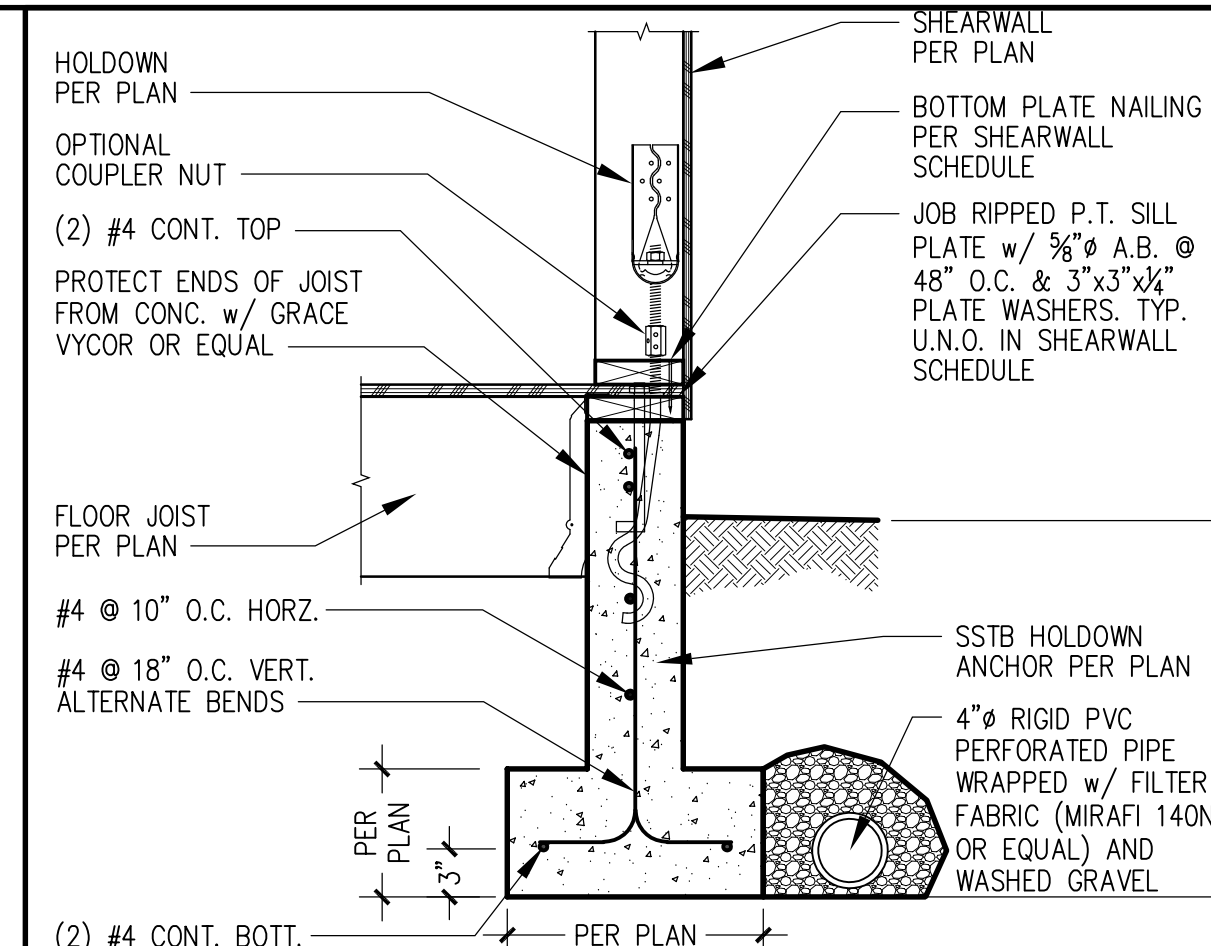
PRE-MANUFACTURED FLOOR JOIST:
JOIST SHALL BE MANUFACTURED IN A PLANT APPROVED FOR FABRICATION BY THE BUILDING DEPARTMENT AND UNDER THE SUPERVISION OF AN APPROVED THIRD PARTY INSPECTION AGENCY. EACH JOIST SHALL BE IDENTIFIED BY A STAMP INDICATING THE JOIST TYPE, C.A.B.O. NER REPORT NUMBER, MANUFACTURER'S NAME, PLANT NUMBER, AND THE INDEPENDENT INSPECTION AGENCY LOGO AND EVALUATION REPORT NUMBER.

PRE-MANUFACTURED ROOF TRUSSES:
ROOF TRUSSES SHALL BE FABRICATED OF DOUGLAS-FIR/LARCH OR HEM-FIR. TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS STAMPED, SIGNED AND DATED BY A WASHINGTON STATE LICENSED STRUCTURAL ENGINEER. ALL TRUSS PLATES AND CONNECTORS SHALL BE I.C.B.O. APPROVED. VERIFY MECHANICAL UNIT LOADS AND LOCATIONS WITH SUPPLIER AND FURNISH ADDITIONAL LOADS AS REQUIRED. SUBMIT TRUSS SHOP DRAWINGS TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

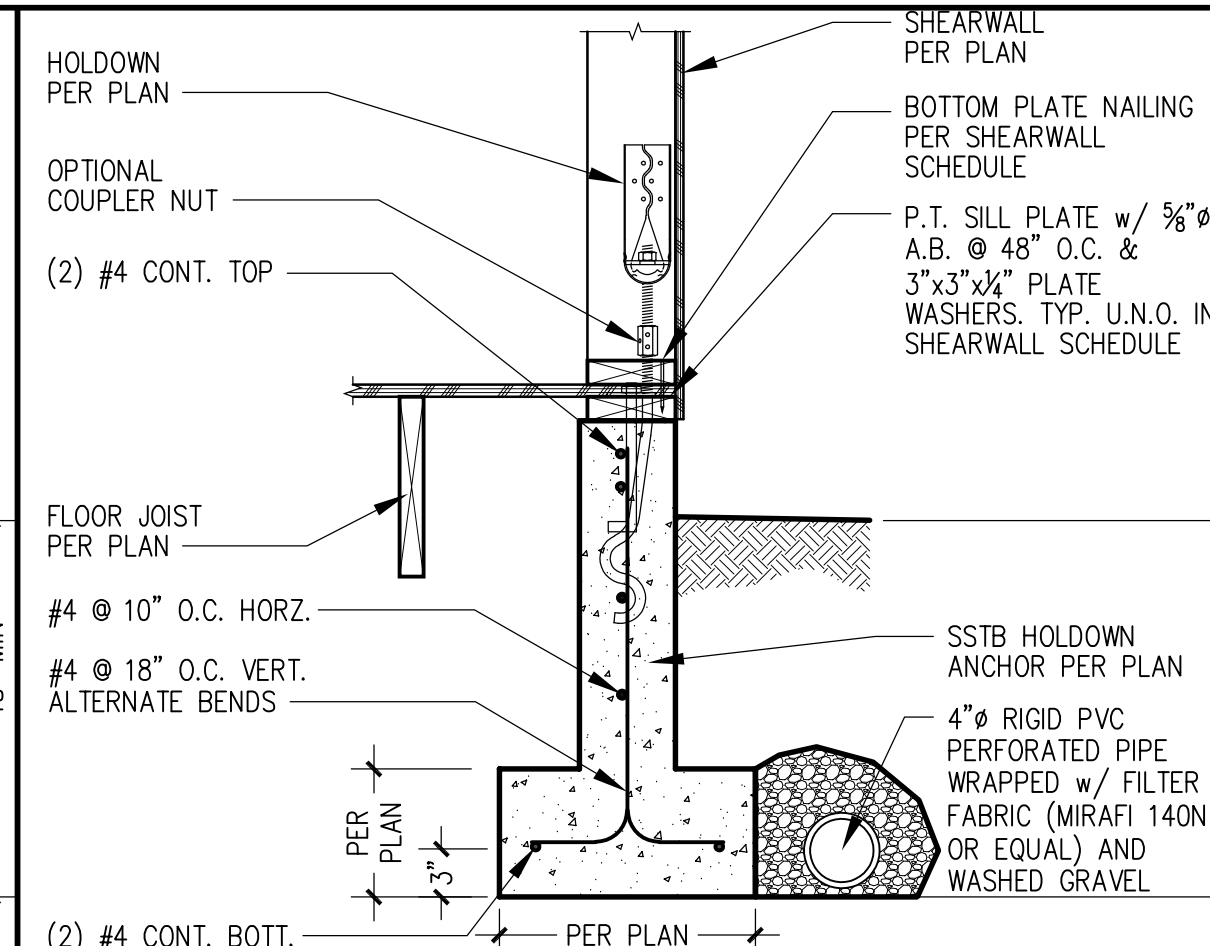
GLUED-LAMINATED TIMBERS:
LAMINATED TIMBERS SHALL BE DOUGLAS-FIR/LARCH KILN DRIED STRESS GRADED COMBINATION 24F-V4 (F_b = 2400 PSI, F_v = 109 PSI) FOR SIMPLE SPANS AND 24F-V8 FOR CANTILEVER AND CONTINUOUS BEAMS. A.I.T.C. CERTIFICATE OF PERFORMANCE REQUIRED. COLUMNS SHALL CONFORM TO TO A.I.T.C. STANDARDS 117.

STRUCTURAL TIMBERS:
ALL GRADES SHALL CONFORM TO WMPA GRADING RULES FOR WESTERN LUMBER, LATEST EDITION. PROVIDE CUT WASHERS UNDER ALL NUTS AND BOLTS BEARING AGAINST WOOD. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE TREATED. ALL STRUCTURAL LUMBER SHALL BE AS NOTED BELOW:

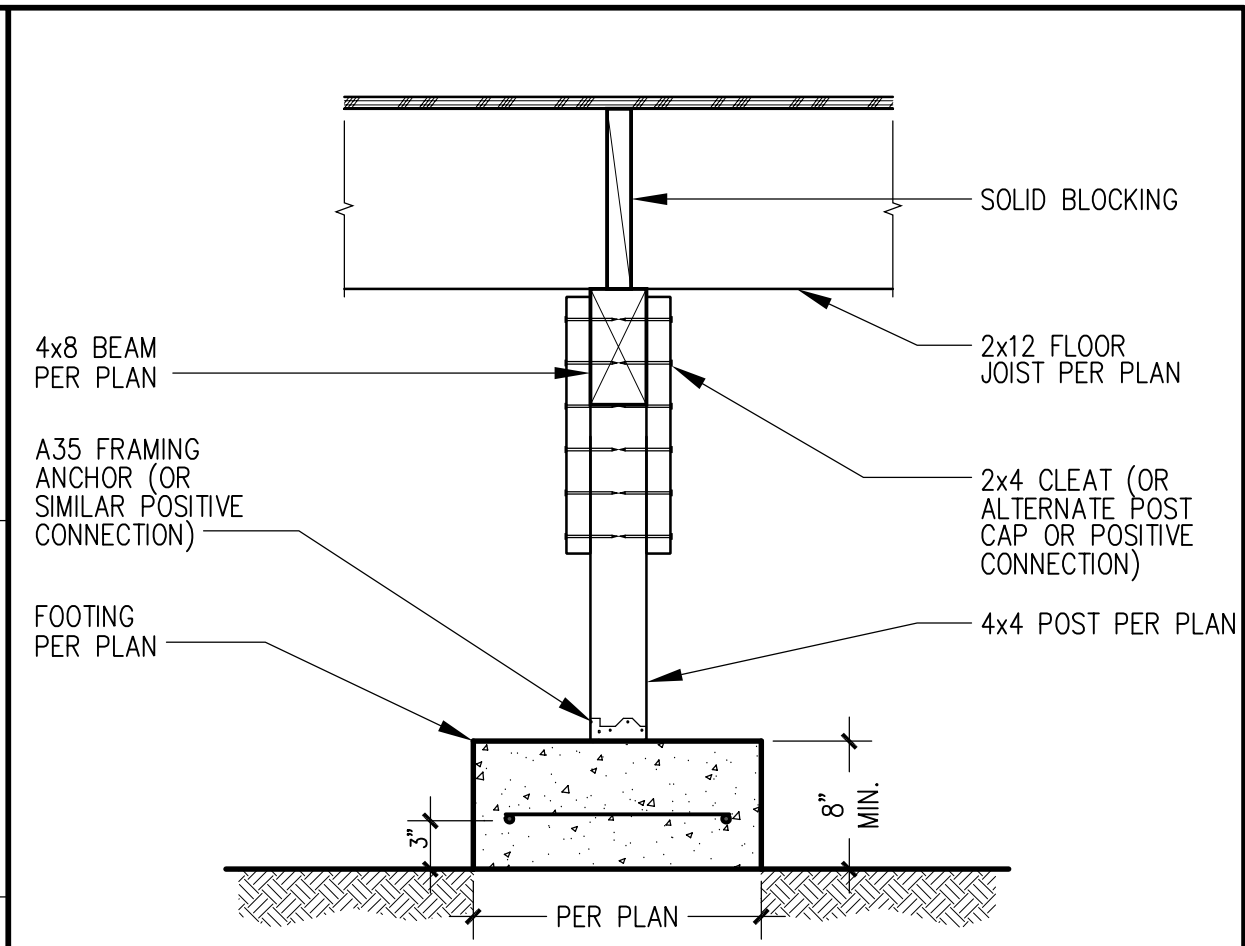
FRAMING GRADES:		
2x ROOF RAFTERS	DOUG-FIR/LARCH #2.....	F _b = 900PSI
2x FLOOR/DECK JOIST	DOUG-FIR/LARCH #2.....	F _b = 900PSI
4x BEAMS	DOUG-FIR/LARCH #2.....	F _b = 900PSI
6x BEAMS	DOUG-FIR/LARCH #1.....	F _b = 1350PSI
4x COLUMNS	DOUG-FIR/LARCH #1.....	F _b = 1000PSI
6x COLUMNS	DOUG-FIR/LARCH #1.....	F _b = 1200PSI
2x STUDS	HEM-FIR.....	F _b = 675PSI
LSL	LSL 1.55E.....	F _b = 2325PSI
LVL	LVL 2.0E.....	F _b = 2600PSI
PFL	PFL 2.2E.....	F _b = 2900PSI
GLB	GLU-LAM (24F-V4).....	F _b = 2400PSI



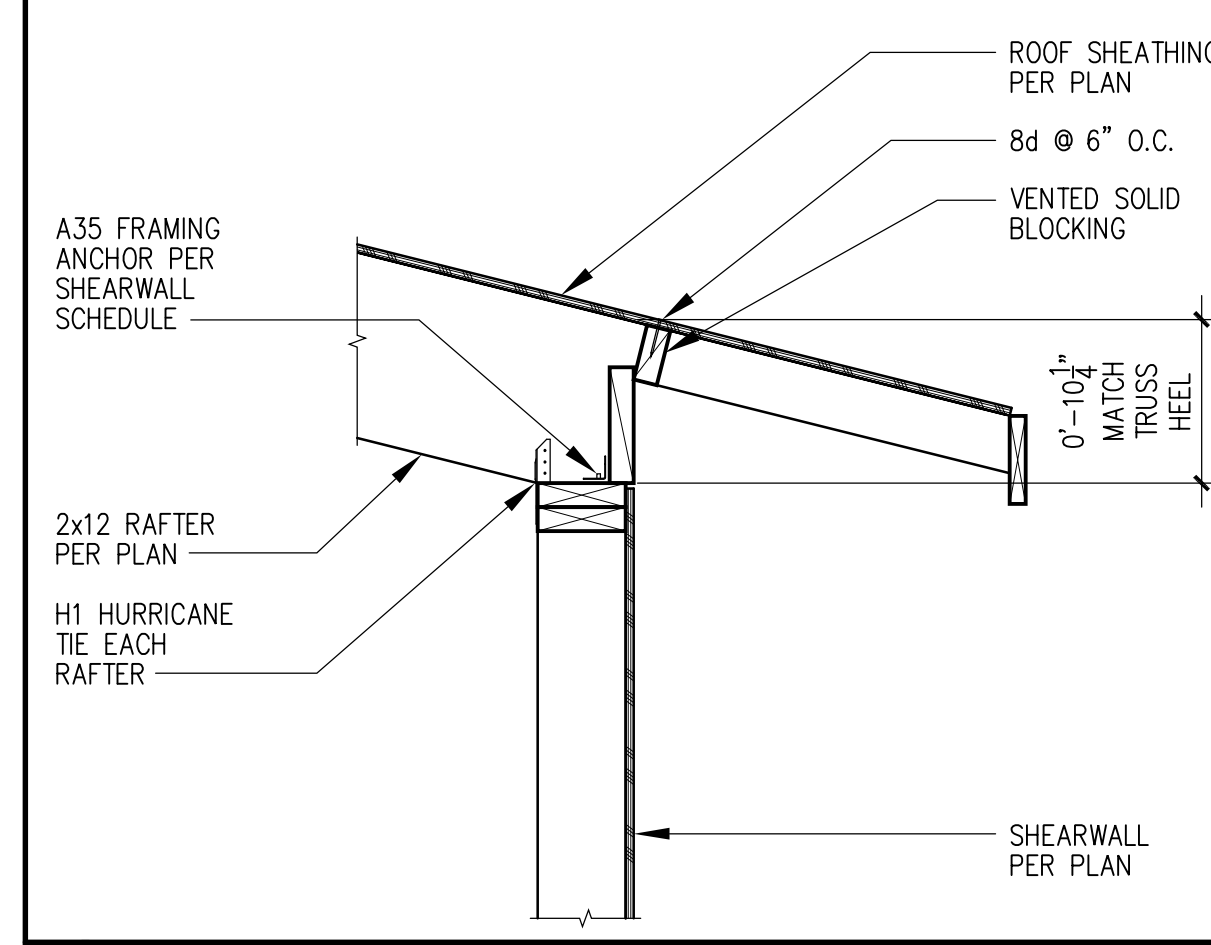
1 SSTS HOLDOWN @ RAISED FOUNDATION (PERPENDICULAR 2x12)



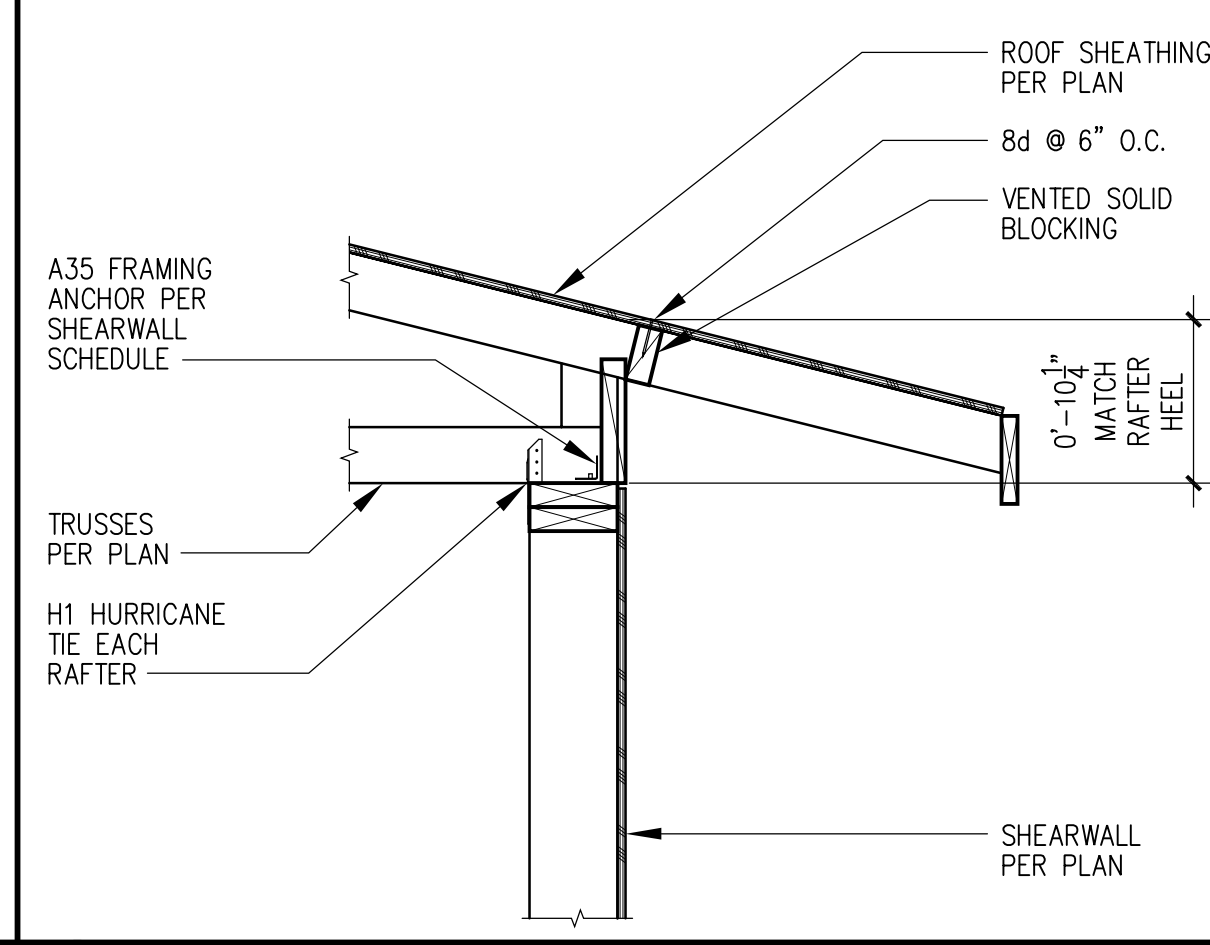
2 SSTS HOLDOWN @ RAISED FOUNDATION (PARALLEL 2x12)



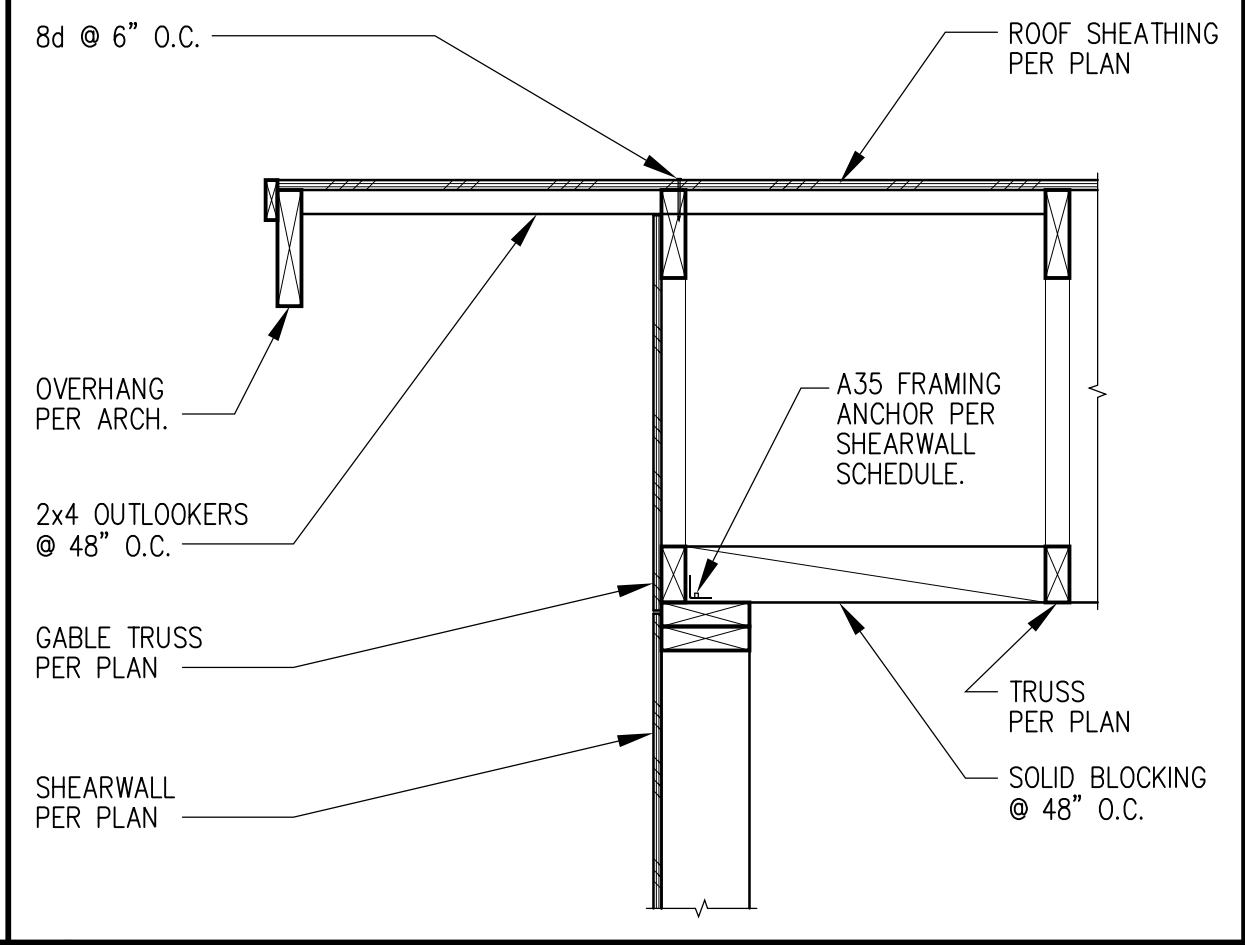
3 TYPICAL CRAWLSPACE POST



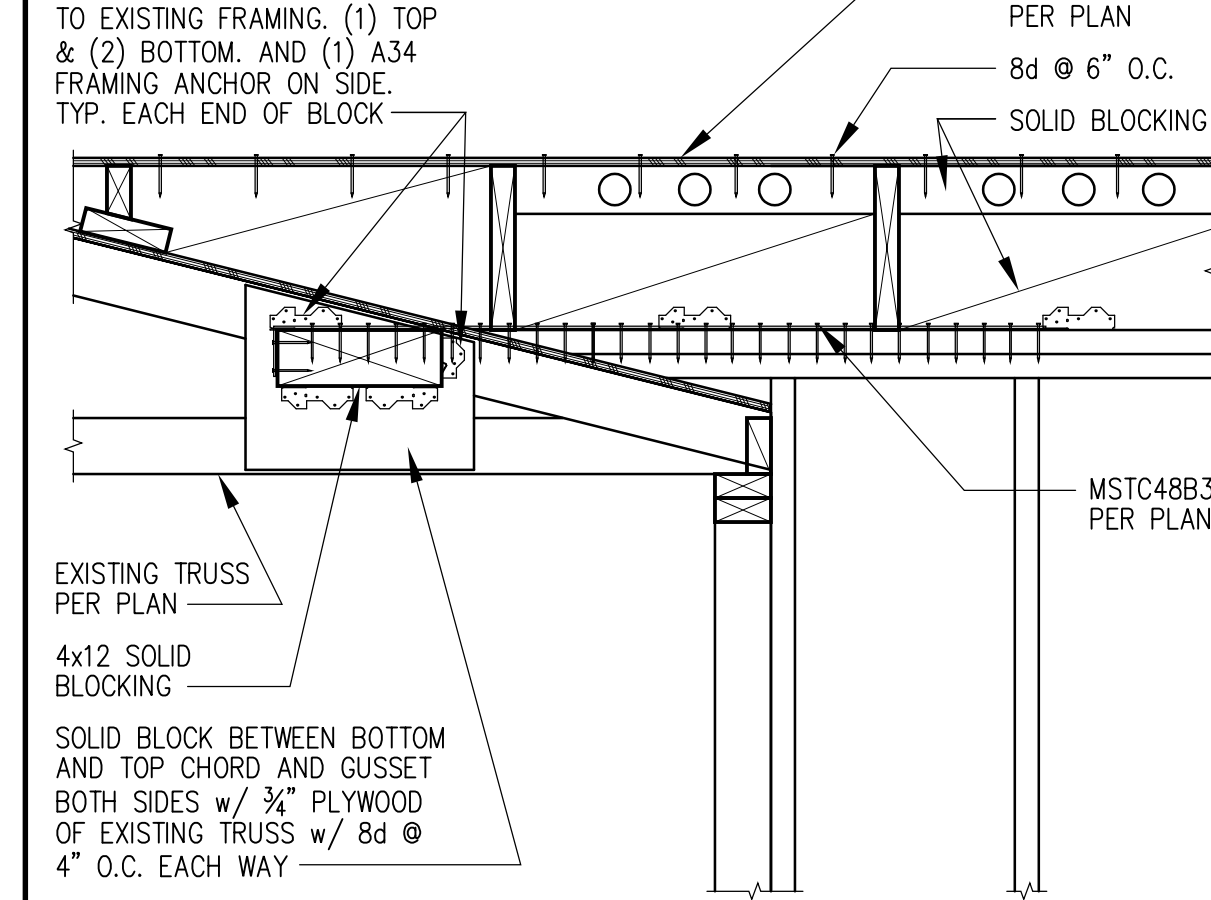
4 SHEAR TRANSFER @ EAVE (TYPICAL 2x12 RAFTER)



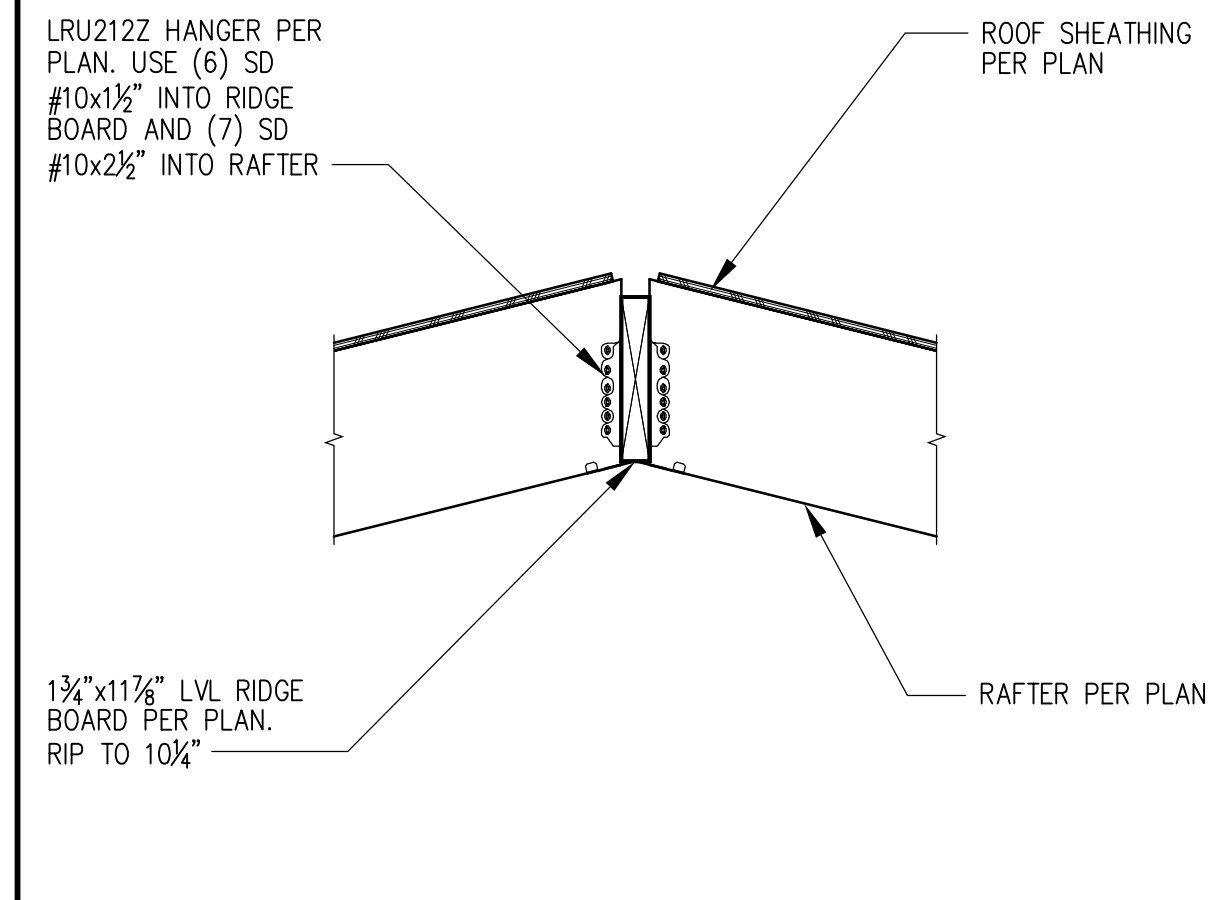
5 SHEAR TRANSFER @ EAVE (TYPICAL COMMON TRUSS)



6 SHEAR TRANSFER @ GABLE



7 DRAGTIE @ NEW WALL FRAMING



8 RAFTERS @ RIDGE BEAM

Stoney Point Engineering
Dwayne Barnes P.E.
dwayne@stoneypointengineering.com
Office: 425-644-9500



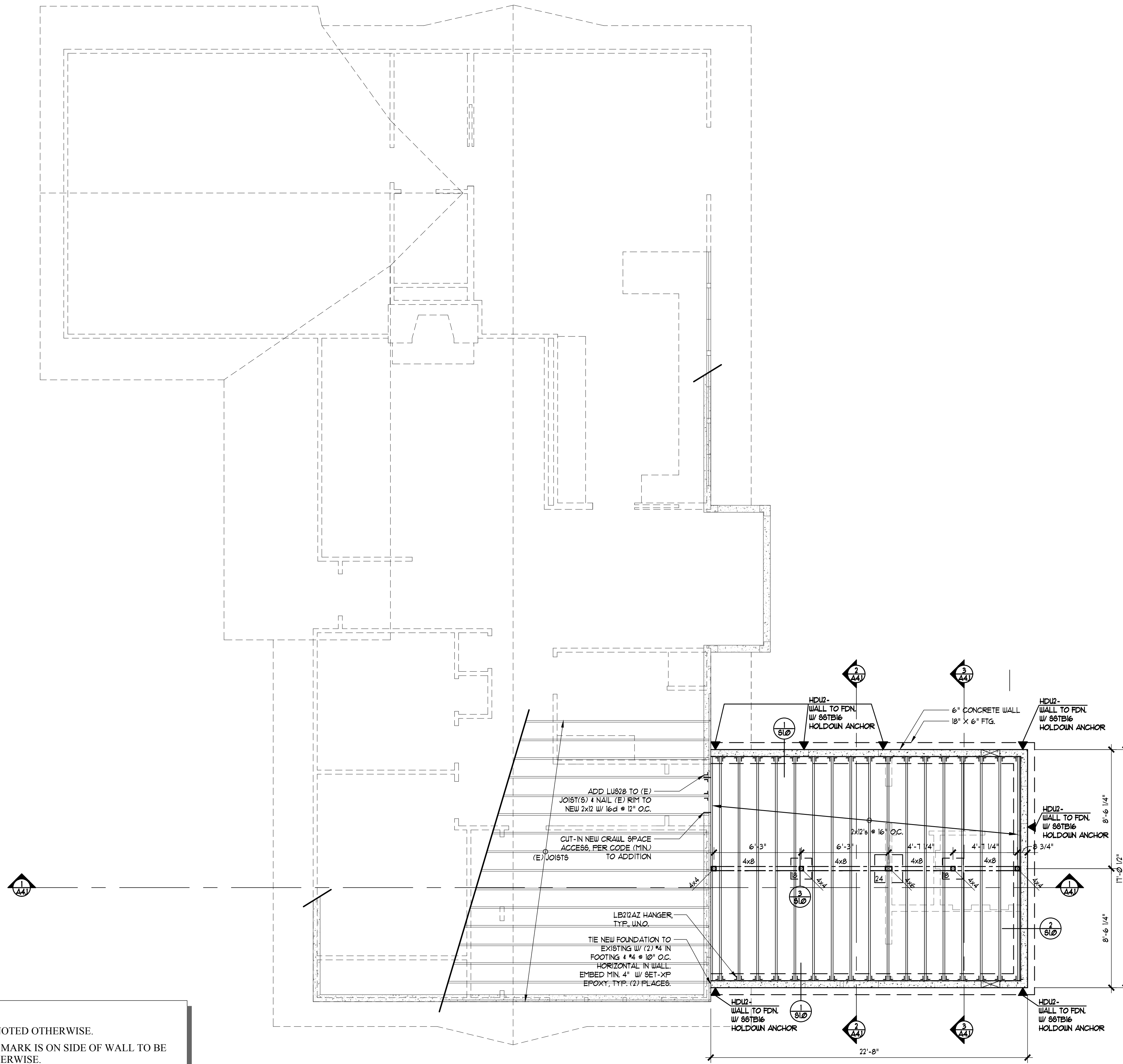
Peluso Addition
5628 89th Ave, SE
Mercer Island, WA 98040

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Issued	Date
Permit Plans	03/07/22

22-002

S1.0
STRUCTURAL NOTES



SHEARWALL NOTES:

1. ALL EXTERIOR WALLS TO BE P1-6, UNLESS NOTED OTHERWISE.
2. DENOTES SHEARWALL MARKS. MARK IS ON SIDE OF WALL TO BE SHEATHED, UNLESS NOTED OTHERWISE.
3. DENOTES EXTENT OF SHEARWALL.
4. DENOTES LOCATION OF HOLDOWN PER PLAN.
5. SEE SHEET S1.0 FOR TYP. SHEARWALL NOTES, SCHEDULES & DETAILS

FRAMING NOTES:

BEARING WALL

1 PROPOSED FOUNDATION/MAIN FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"

VENTILATION CALCULATIONS:

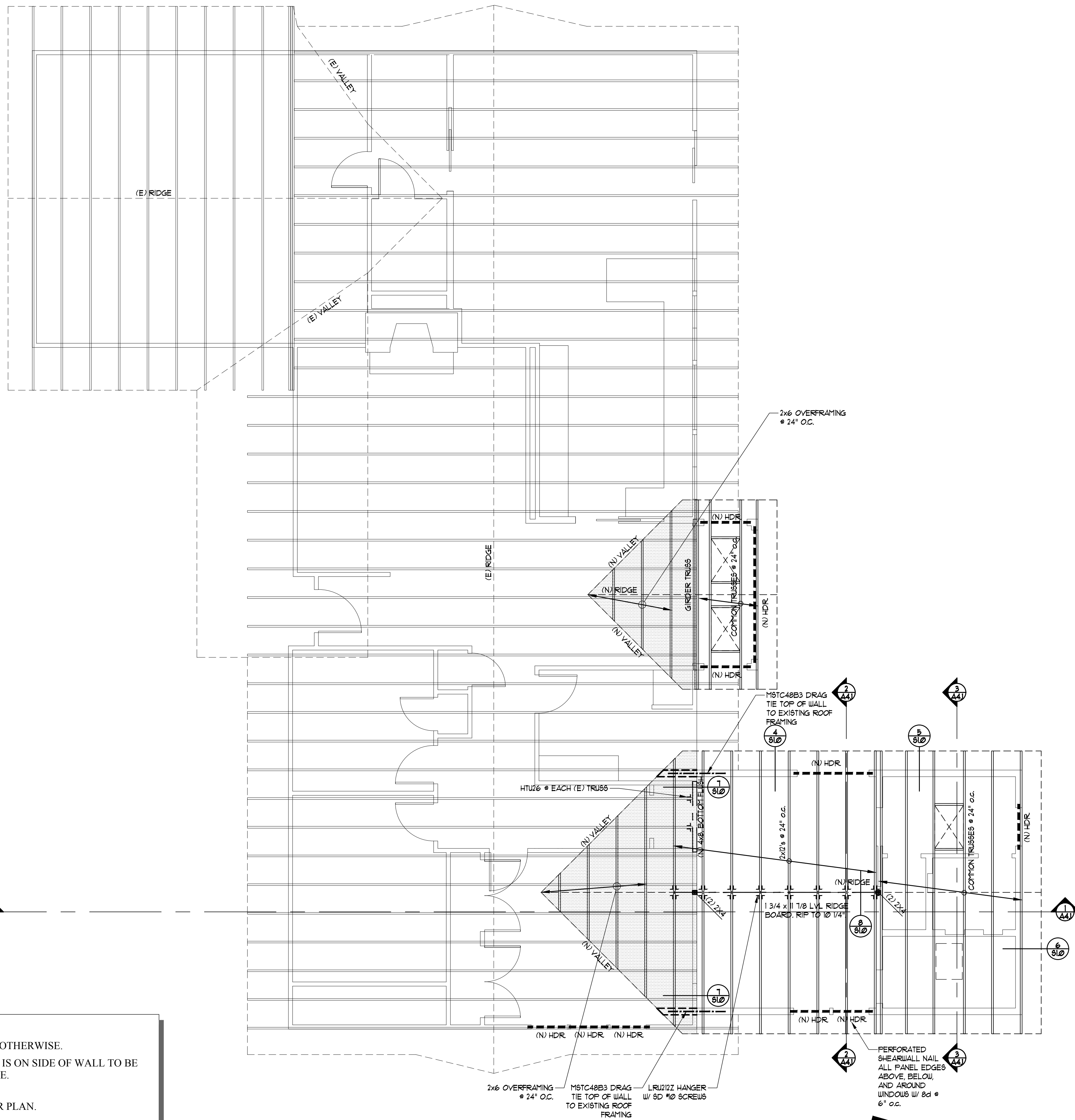
CRAILL SPACE AREA = 356 SF
 VENT AREA REQUIRED = 356/300 = 1.19 SF
 PROVIDE (2) 8' x 16" VENT OPENINGS
 (2) x 0.28 SF = 1.16 SF
 (PER IRC R408.2, WASHINGTON STATE AMENDMENT)



NO.	DATE	REVISION
	03.07.22	PERMIT SUB.
	03/07/2022	DATE:
	2109	JOB NUMBER:
	DKG	PM:
	S2.0	FILE:

FOUNDATION & MAIN FLOOR FRAMING PLAN

S2.0



SHEARWALL NOTES:

1. ALL EXTERIOR WALLS TO BE P1-6, UNLESS NOTED OTHERWISE.
2. DENOTES SHEARWALL MARKS. MARK IS ON SIDE OF WALL TO BE SHEATHED, UNLESS NOTED OTHERWISE.
3. DENOTES EXTENT OF SHEARWALL.
4. DENOTES LOCATION OF HOLDDOWN PER PLAN.
5. NEW HDR TO BE 4x8 DF#2, U.N.O.
6. SEE SHEET S1.0 FOR TYP. SHEARWALL NOTES, SCHEDULES & DETAILS

FRAMING NOTES:

BEARING WALL

1 PROPOSED ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"



NO.	DATE	REVISION
	03.07.22	PERMIT SUB.
DATE:	03/07/2022	
JOB NUMBER:	2109	
PM:	DKG	
FILE:	S2.1	

ROOF FRAMING PLAN

S2.1