**GENERAL** 

THESE DRAWINGS ARE THE PROPERTY OF EXURBAN DESIGNS, LLC. AND MAY BE REPRODUCED ONLY WITH THE WRITTEN PERMISSION OF EXURBAN DESIGNS, LLC. AUTHORIZED REPRODUCTIONS MUST BEAR THE NAME OF EXURBAN DESINGS, LLC. (C) COPYRIGHT 2022 BY EXURBAN DESIGNS, LLC. THESE DRAWINGS ARE FULLY PROTECTED BY FEDERAL AND STATE COPYRIGHT LAWS. ANY INFRINGEMENT WILL BE VIGOROUSLY PROSECUTED. ALL CONSTRUCTION SHALL CONFORM TO THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AS AMENDED BY THE STATE OF WASHINGTON AND BE IN ACCORDANCE WITH WASHINGTON STATE LAWS, REGULATIONS AND VARIOUS CODES IMPOSED BY LOCAL

DO NOT SCALE DRAWINGS OR DETAILS - USE GIVEN DIMENSIONS. CHECK DETAILS FOR LOCATION OF ALL ITEMS NOT DIMENSIONED ON THE PLANS. DIMENSIONS ON THE PLANS ARE TO FRAMING OR CENTERLINE OF COLUMNS UNLESS NOTED OTHERWISE.

DOOR AND CASED OPENINGS WITHOUT DIMENSIONS ARE TO BE 4" FROM FACE OF ADJACENT WALL OR CENTERED BETWEEN WALLS, UNLESS NOTED OTHERWISE.

VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN

THE CONTRACT DOCUMENTS. NOTIFY EXURBAN DESIGNS FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.

CONTRACTORS RESPONSIBILITY:

CONTRACTOR TO VERIFY ALL DIMENSIONS AND STRUCTURAL MEMBER SIZES PRIOR TO CONSTRUCTION. CONTRACTOR TO INFORM EXURBAN DESIGNS OF ANY DISCREPANCIES IN THE DRAWINGS OR FROM THE CODES.

CONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE OWNER / EXURBAN DESIGNS AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE

ALL STRUCTURAL SYSTEMS SUCH AS WOOD TRUSSES WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

CONTRACTOR TO COORDINATE FRAMING LAYOUT WITH ELECTRICAL AND MECHANICAL

UNLESS A SOILS REPORT BY A SOILS ENGINEER IS PROVIDED AND ATTACHED THIS OFFICE ASSUMES NO RESPONSIBILITY AS TO THE PHYSICAL CHARACTERISTICS OF THE SOIL. FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING OF 2,000 PSF. ALL FOOTINGS SHALL BE CAST ON UNDISTURBED FIRM NATURAL SOIL OR COMPACTED SOIL OF 2,000 PSF BEARING CAPACITY AT LEAST 1'-6" BELOW LOWEST ADJACENT GRADE, FREE OF ORGANIC MATERIALS, FOOTING EXCAYATION SHALL BE FREE OF LOOSE SOILS, DEBRIS, AND FREE WATER AT ALL TIMES. THIS OFFICE TAKES NO RESPONSIBILITY IN VERIFYING THE ACCURACY OF ENGINEERING DATA SUPPLIED BY

CLEARING AND GRADING (T.E.S.C. MEASURES)

ALL CLEARING AND GRADING MUST BE IN ACCORDANCE WITH LOCAL JURISDICTION CLEARING AND GRADING EROSION CONTROL STANDARDS, DEVELOPMENT STANDARDS, LAND USE CODE, INTERNATIONAL RESIDENTIAL CODE, PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES AND STANDARDS. THE DESIGN ELEMENTS WITH THESE PLANS HAVE BEEN REVIEWED TO THESE REQUIREMENTS. ANY VARIANCE FROM THE ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE LOCAL JURISDICTION PRIOR TO CONSTRUCTION.

A COPY OF THE APPROVED PLANS MUST BE ON-SITE WHENEVER CONSTRUCTION IS IN PROGRESS. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.

ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE EFFECTED BY THE WORK.

FINAL SITE DRAINAGE MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM OF 6" WITHIN THE FIRST 10', PER IRC R4013.

#### CRAWL SPACE:

UNDER-FLOOR AREAS SHALL BE VENTILATED BY AN APPROVED MECHANICAL MEANS OR BY OPENINGS IN EXTERIOR FOUNDATION WALLS. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER-FLOOR AREA. ONE OPENING SHALL BE WITHIN 3' OF EACH CORNER OF THE BUILDING. IRC R4082.

CRAWL SPACE, UNOBSTRUCTED ACCESS, MINIMUM 18" x 24". IRC R408.4.

PROVIDE 18" MINIMUM CRAWL SPACE UNDER WOOD JOIST AND 12" MINIMUM CRAWL SPACE UNDER WOOD GIRDERS. IRC R317.1.

A GROUND COVER VAPOR BARRIER OF MIN. 6 MIL. (0.006") POLYETHYLENE (0R EQUIVALENT) SHALL BE INSTALLED IN ALL CRAWL SPACES, JOINTS LAPPED 12", EXTEND UP FOUNDATION WALL AND SECURE TO SILL PLATE WHEREVER PRACTICAL.

ALL WOOD IN CONTACT WITH CONCRETE, CMU OR WITHIN 8" OF SOILS SHALL BE PRESSURE TREATED WOOD IN COMPLIANCE WITH IRC R317.1.

#### GARAGES:

DOORS BETWEEN GARAGE AND DWELLING SHALL BE SOLID WOOD DOORS I 3/8" THICK OR MORE PER IRC R3025.1. THERE SHALL BE NO OPENINGS BETWEEN GARAGE AND ROOMS USED FOR SLEEPING PURPOSES.

SEPARATION FROM DWELLING TO GARAGE, SHOP OR SIMILAR AREAS SHALL BE SEPARATED FROM RESIDENCE AND IT'S ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT. IRC R302.6.

HEATING AND/OR COOLING EQUIPMENT LOCATED IN GARAGE SHALL BE INSTALLED WITH PILOTS AND BURNERS OR HEATING ELEMENTS AND SWITCHES AT LEAST IS" ABOVE THE FLOOR LEVEL PER IRC G24082.

#### FIREPLACES

FACTORY-BUILT FIREPLACES AND CHIMNEYS SHALL BE LISTED AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS, IRC RIØØ4.1 AND TESTED IN ACCORDANCE WITH

MASONRY FIREPLACES, BARBECUES, SMOKE CHAMBERS AND FIREPLACE CHIMNEYS SHALL BE CONSTRUCTED OF MASONRY OR REINFORCED CONCRETE. FOUNDATIONS SHALL BE MIN. 12" THICK AND EXTEND MIN. 6" BEYOND MASONRY. FIREBOX WALLS MIN. 10" THICK EXCEPT MIN. 8" THICK WHERE A FIREBRICK LINING 15 USED. COMBUSTIBLE MATERIALS SHALL NOT BE PLACED WITHIN 2 INCHES OF FIREPLACE, SMOKE CHAMBER OR CHIMNEY WALLS. COMBUSTIBLE MATERIAL SHALL NOT BE PLACED WITHIN 6" OF THE FIREPLACE OPENING. MIN. 4" THICK NON-COMBUSTIBLE HEARTH EXTENDING 16" IN FRONT AND 8" TO THE SIDE OF THE FIREPLACE OPENING. COMBUSTIBLE MATERIAL WITHIN 12" OF THE FIREPLACE OPENING SHALL NOT PROJECT MORE THAN 1/8" FOR EACH 1" DISTANCE FROM SUCH OPENING. IRC RI001-RI003.

#### CEILING HEIGHTS

HABITABLE SPACE SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0". NOT MORE THAN 50% OF REQUIRED FLOOR AREA OF A SPACE IS PERMITTED TO HAVE A SLOPED CEILING LESS THAN 7'-0" IN HEIGHT WITH NO PORTION LOWER THAN 5'-0". BATHROOM SHALL HAVE A MIN CEILING HEIGHT OF 6'-8" OVER THE FIXTURE AND ITS FRONT CLEARANCE AREA. IRC R305.

#### ROOFING

APPLY ROOFING IN ACCORDANCE WITH IRC R905. BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, OCCUPIED ROOFS AND SIMILAR SURFACES EXPOSED TO THE WEATHER AND SEALED UNDERNEATH SHALL BE

WATERPROOFED AND SLOPED A MINIMUM OF 1/4" PER 12" (2% SLOPE) FOR DRAINAGE.

# PELUSO ADDITION

5628 89TH AVE. SE., MERCER ISLAND, WA 98040

#### ATTIC:

PROVIDE ATTIC VENTILATION AS INDICATED ON ROOF FRAMING PLANS. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/300, PROVIDED AT LEAST 40 BUT NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT & WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. IRC R806.2.

ATTIC ACCESS MINIMUM 22" x 30" WITH MINIMUM 30" HEADROOM, UNOBSTRUCTED, READILY ACCESSIBLE OPENING. IRC R807.1

GLAZING:

TO BE IN COMPLIANCE WITH IRC R308 AND WASHINGTON STATE SAFETY GLASS LAW.

GLAZING IN HAZARDOUS LOCATIONS SUCH AS GLASS ON DOORS, GLAZING WITHIN 24" ON EITHER SIDE OF A DOOR OPENING, AREAS WITHIN 60" VERTICAL AND 36" HORIZONTAL OF THE BOTTOM LANDING OF A STAIRWAY, STORM DOORS, RAILINGS, SHOWER DOORS, SLIDING GLASS DOORS, AND TUB ENCLOSURES SHALL BE SAFETY GLAZING MATERIAL.

ALL EXTERIOR WALL GLAZING SHALL COMPLY WITH THE 2018 EDITION OF THE WASHINGTON STATE ENERGY CODE.

EGRESS IN EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY EXIT WITH A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" MINIMUM NET CLEAR OPENING WIDTH DIMENSION OF 20" AND A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR IRC R310.1.

ONE EXIT DOOR CONFORMING TO IRC R311.2 IS REQUIRED.

FIRE PROTECTION:

SMOKE DETECTOR POWER SOURCES TO BE INSTALLED IN ACCORDANCE WITH NFPA 12 \$ IRC R314. ALL ALARM DEVICES SHALL BE INTERCONNECTED PER IRC R314.1.

FIREBLOCKING PER IRC RIØØ3.19, RIØØ1.12, R3Ø2.11 & R6Ø2.8. DRAFTSTOPPING PER IRC

**VENTILATION & LIGHTING:** 

INHABITABLE ROOMS NOT PROVIDED WITH AN OPENABLE EXTERIOR OPENING OF AT LEAST 4% OF THE FLOOR AREA, A MECHANICAL VENTILATION SYSTEM MUST BE PROVIDED THAT PROVIDES MIN. 30 AIR CHANGES PER HOUR. IRC R303.1.

DRYER & BATH FANS TO BE 50 CFM, AND RANGE/OVEN FANS TO BE 100 CFM MIN, VENT TO THE OUTSIDE. IRC303 AND 2006 WA STATE VENTILATION AND INDOOR AIR QUALITY

NATURAL LIGHTING TO BE NOT LESS THAN 8% OF THE FLOOR AREA OR ALL HABITABLE SPACES. IRC R303. STAIRS:

MINIMUM HEADROOM OF 6'-8" MEASURED VERTICALLY FROM A SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OR PLATFORM. IRC R311.7.2 MINIMUM WIDTH 36", IRC 311.7.1

MINIMUM TREAD 10", MAXIMUM RISER 1 3/4", HANDRAIL MINIMUM 34" AND MAXIMUM 38" ABOVE STAIR NOSING, HANDRAIL TO BE 1 1/4" TO 2" CROSS SECTION AND 1 1/2" AWAY FROM WALL. IRC R311.7.5 \$ 311.7.8. INSTALL FIRE BLOCKING AT MID STRINGER SPAN AND AT WALL ALONG STRINGER. COVER WALLS AND SOFFITS OF USABLE SPACE UNDER STAIR WITH 1/2" GYPSUM BOARD. IRC R302.11

GUARDRAILS: ANY WALKING SURFACE 30" OR MORE ABOVE GRADE OR ADJACENT SURFACE SHALL HAVE MIN. 36" HIGH GUARDRAIL. IRC R312.

#### BATHROOMS:

ALL TUB AND SHOWER STALLS SHALL HAVE FIREBLOCKING BETWEEN STUDS.

BATHTUB WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET SHALL BE SAFETY GLAZING. IRC R308.4 BATH TUB & SHOWER STALL NON-ABSORBENT WAINSCOTS SHALL BE A MINIMUM OF 12 INCHES ABOVE THE FLOOR. IRC R3072. WATERCLOSETS SHALL HAVE MIN. 15" TO SIDE WALLS FROM CENTER OF FIXTURE, AND

ALL GLAZING USED FOR DOORS OR ENCLOSURES IN BATHROOMS SHALL BE SAFETY

GLAZING. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING A SHOWER OR

MIN. 21" FRONT CLEARANCE. IRC R3@1.1 APPLIANCES IN A FIXED POSITION SHALL BE SECURELY FASTENED IN PLACE TO

STRUCTURAL MEMBERS WITH STRAP ANCHORS OR SIMILAR ANCHORING METHOD.

ENERGY

METHOD OF COMPLIANCE - PRESCRIPTIVE METHOD FOR GROUP R OCCUPANCY, CLIMATE ZONE PER TABLE R301.1, TABLE R402.1.1, UNLIMITED GLAZING. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE AND THE WASHINGTON STATE ENERGY CODE, LATEST EDITION. VERIFY ALL CONDITIONS BEFORE PROCEEDING

WALLS: INSULATED PER TABLE R402.1.1.

ROOF AND CEILING: INSULATED PER TABLE R402.I.I. PROVIDE INSULATION IN CEILING WHERE POSSIBLE AND IN 2x12 RAFTERS IF VAULTED CEILING CONDITION EXISTS. MAINTAIN A MINIMUM OF 1" CLEAR BETWEEN TOP OF INSULATION AND BOTTOM OF SHEATHING FOR VENTING. VENTING MUST OCCUR IN EACH JOIST SPACE. WHERE CONTINUOUS VENTING WITHIN A JOIST SPACE IS INTERRUPTED BY A HEADER (I.E., SKYLIGHT OR AT HIP END), PROVIDE (2) I 1/2" VENTING HOLES AT THE TOP OF THE RAFTER AT THE HEADER TO ALLOW FOR CONTINUAL THROUGH-YENTING INTO THE NEXT JOIST SPACE.

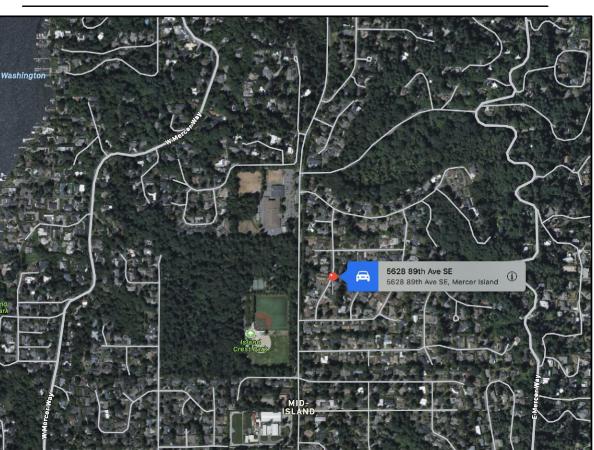
FLOORS: INSULATE PER TABLE R402.1.1.

<u>SLAB ON GRADE:</u> INSULATE PER TABLE R402.1.1. PROVIDE EXTRUDED RIGID CLOSED CELL INSULATION. INSULATION, INSTALLED INSIDE THE FOUNDATION WALL, SHALL EXTEND DOWNWARD FROM THE TOP OF THE SLAB 24" MIN. OR DOWNWARD AND THEN HORIZONTALLY BENEATH THE SLAB FOR A COMBINED 24" MIN. INSULATION INSTALLED OUTSIDE THE FOUNDATION SHALL EXTEND DOWNWARD 24" MIN. OR TO THE FROSTLINE.

<u>VAPOR BARRIERS:</u> VAPOR RETARDERS SHALL BE INSTALLED ON THE WARM SIDE (IN WINTER) OF INSULATION PER TABLE R402.4.1.1. FLOORS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE SHALL HAVE MIN. 4 MIL POLYETHYLENE OR KRAFT FACED MATERIAL. ROOF/CEILING ASSEMBLIES WHERE THE VENTILATION SPACE ABOVE THE INSULATION IS LESS THAN AN AVERAGE OF 12 INCHES SHALL BE PROVIDED WITH A VAPOR RETARDER. WALLS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE SHALL HAVE A VAPOR RETARDER INSTALLED. FACED BATT INSULATION SHALL BE FACE STAPLED. A GROUND COVER OF MIN. 6 MIL BLACK POLYETHYLENE SHALL BE LAID OVER THE GROUND WITHIN CRAWL SPACES W/ JOINTS LAPPED MIN. 12".

GLAZING AND DOORS: GLAZING AND DOOR U-FACTORS SHALL BE DETERMINED IN ACCOURDANCE WITH WSEC SECTIONS R402.1.1 AND R303.1.3(2), RESPECTIVELY.

#### VICINITY PLAN



CONSULTANTS

STRUCTURAL Stoney Point Engineering ATTN: Dwayne Barnes 12033 SE 40th Lane Bellevue, WA 98006 Phone: (425) 644-9500 E-Mail: dwayne@stoneypointengineering.com

#### PROJECT ADDRESS

5628 89TH AVE. SE., MERCER ISLAND, WASHINGTON 98040

ZONING CLASSIFICATION

CITY OF MERCER ISLAND: R-9.6

#### LEGAL DESCRIPTION

LOT 37, EL DORADO ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 62 OF PLATS, PAGE 1, IN KING COUNTY, STATE OF WASHINGTON.

#### PARCEL NO.: 228700-0370

**BUILDING CLASSIFICATION** 

USE GROUP (IBC CHAPTER 3): R-3 (SINGLE FAM. RESIDENTIAL) CONSTRUCTION TYPE (IBC 602.5): TYPE V ALLOWABLE AREA (IBC TABLE 503): UNLIMITED

ALLOWABLE HEIGHT (IBC TABLE 503): 3 STORIES W/ BASEMENT, OR 4 STORIES IF SPRINKLED

SPRINKLERS (IBC 903.3.1.3) NFPA 13D SYSTEM PROVIDED FIRE FLOW (UFC TABLE A-111-A-1)

#### \*IF PROVIDED, INSTALL PER IFC503, 508

#### ENERGY COMPLIANCE

WASHINGTON STATE ENERGY CODE: 2018 EDITION, PRESCRIPTIVE METHOD FOR SINGLE-FAMILY RESIDENTIAL, CLIMATE ZONE 5 & MARINE 4. DOOR U-FACTORS SHALL CONFORM TO TABLE R303.1.3(2).

GLAZIN	IG U-FACTOR	CEILING		WALL ABOVE		WALL-EXT BELOW	FL00R	SLAB ON
VERT.	OVERHEAD		CLILING	GRADE		GRADE		GRADE
Ø28	0.50	R-49	R-38	R-21	I	R-10/15/21 int. + TB	R-38	R-10 2'

#### ENERGY CREDITS

PER PRESCRIPTIVE ENERGY CODE WORKSHEET

1.5 ENERGY CREDITS REQUIRED 4. ADDITIONS LESS THAN 500 SF.

THE FOLLOWING CREDITS ARE FROM THE 2018 WSEC TABLE 4063:

FOR AN INITIAL HEATING SYSTEM USING A HEAT PUMP THAT MEETS FEDERAL

FOR AN INITIAL HEATING SYSTEM USING A HEAT PUMP THAT MEETS FEDERAL

FOR EARLIPMENT LISTED ON TABLE C403.32(1)C OR C403.32(2) STANDARDS FOR EQUIPMENT LISTED ON TABLE C403.32(1)C OR C403.32(2) (14.0 SEER AIR TO WATER HEAT PUMP UNITS THAT ARE CONFIGURED TO PROVIDE BOTH HEATING

AND COOLING AND ARE RATED IN ACCORDANCE WITH AHRI 550/590

#### - EFFICIENT BUILDING ENVELOPE:

Ø5 CREDITS PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.1 WITH THE FOLLOWING MODIFICATIONS:

VERTICAL FENESTRATION U=0.28

SLAB ON GRADE R-10 PERIMETER AND UNDER ENTIRE SLAB BELOW GRADE SLAB R-10 PERIMETER AND UNDER ENTIRE SLAB OR COMPLIANCE BASED ON SECTION R402.1.4: REDUCED THE TOTAL CONDUCTIVE UA BY

ABBREVIATIONS

NIC NOT IN CONTRACT

EXISTING

ROOM

WOOD

UNO UNLESS NOTED OTHERWISE

WATER CLOSET

NOT TO SCALE

COLD WATER FROST-PROOF HOSE BIBS

FURNISHED BY OWNER - INSTALLED BY CONTRACTOR

HW-FPHB HOT WATER FROST-PROOF HOSE BIBS

#### INDEX OF DRAWINGS

<u>ARCHITECTURAL</u> AØ.I COVER SHEET

ALO DEMOLITION SITE PLAN

EXST ALI ARCHITECTURAL SITE PLAN A22D MAIN FLOOR DEMO PLAN A2.2 PROPOSED MAIN FLOOR PLAN

NTS ШD A2.4 ROOF PLAN A3.1 EXTERIOR ELEVATIONS

#### <u>STRUCTURAL</u>

A4.1 BUILDING SECTIONS

SI.Ø STRUCTURAL NOTES & DETAILS

A5.1 WALL SECTION & EXTERIOR DETAILS

52.0 PROPOSED FOUNDATION/MAIN FLOOR FRAMING PLAN 62.1 PROPOSED ROOF FRAMING PLAN

NO. DATE REVISION

03.10.22 PERMIT SUB.

03/10/2022 JOB NUMBER:

COVERSHEET

#### LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED REC. NO. 20101007002053)

LOT 37, EL DORADO ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 62 OF PLATS, PAGE 7, IN KING COUNTY, STATE OF WASHINGTON.

#### **BASIS OF BEARINGS**

N 29°48'12" E BETWEEN FOUND CENTERLINE MONUMENTATION ALONG 89TH AVE SE PER R1

### REFERENCES

R1. EL DORADO ESTATES PLAT, VOL. 62, PG. 7, RECORDS OF KING COUNTY, WASHINGTON.

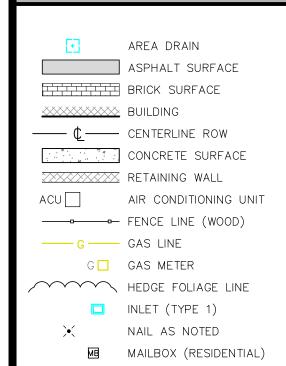
#### VERTICAL DATUM

NAVD88 PER CITY OF MERCER ISLAND BENCHMARK #27440 (D.B. ID# 47209) ELEV: 323.242'

#### SURVEYOR'S NOTES

- 1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JANUARY OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
- 2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
- 3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
- 4. SUBJECT PROPERTY TAX PARCEL NO. 2287000370
- 5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 10,086 S.F.
- 6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
- 7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

### **LEGEND**



MONUMENT IN CASE (FOUND) P POWER METER PPO POWER POLE REBAR AS NOTED (FOUND) REBAR & CAP (SET) ROCKERY SEWER MANHOLE SIZE TYPE ( TREE (AS NOTED) 

**ABBREVIATIONS** 

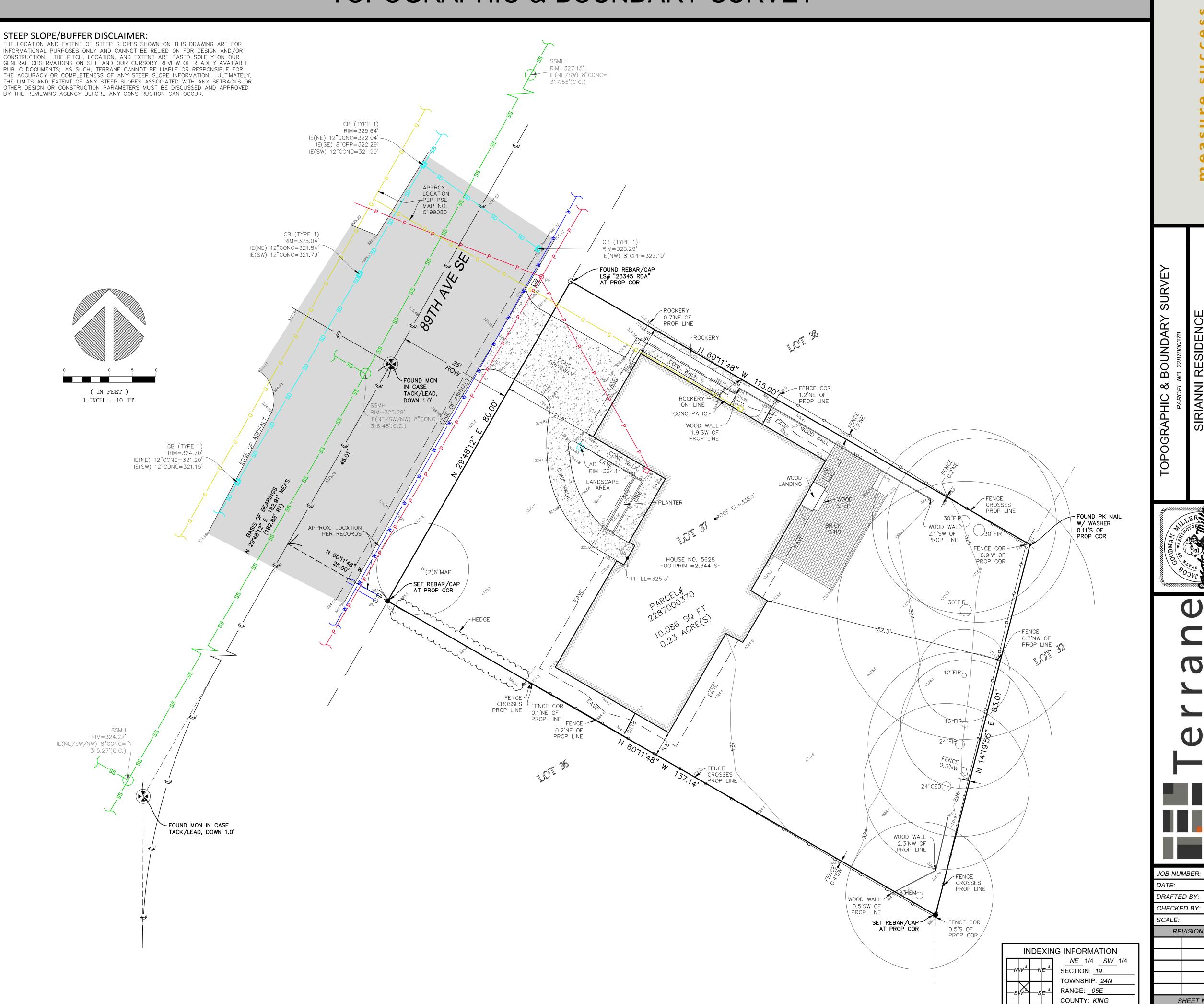
WM□ WATER METER

CRW CONCRETE RETAINING WALL

### VICINITY MAP



## TOPOGRAPHIC & BOUNDARY SURVEY



202416

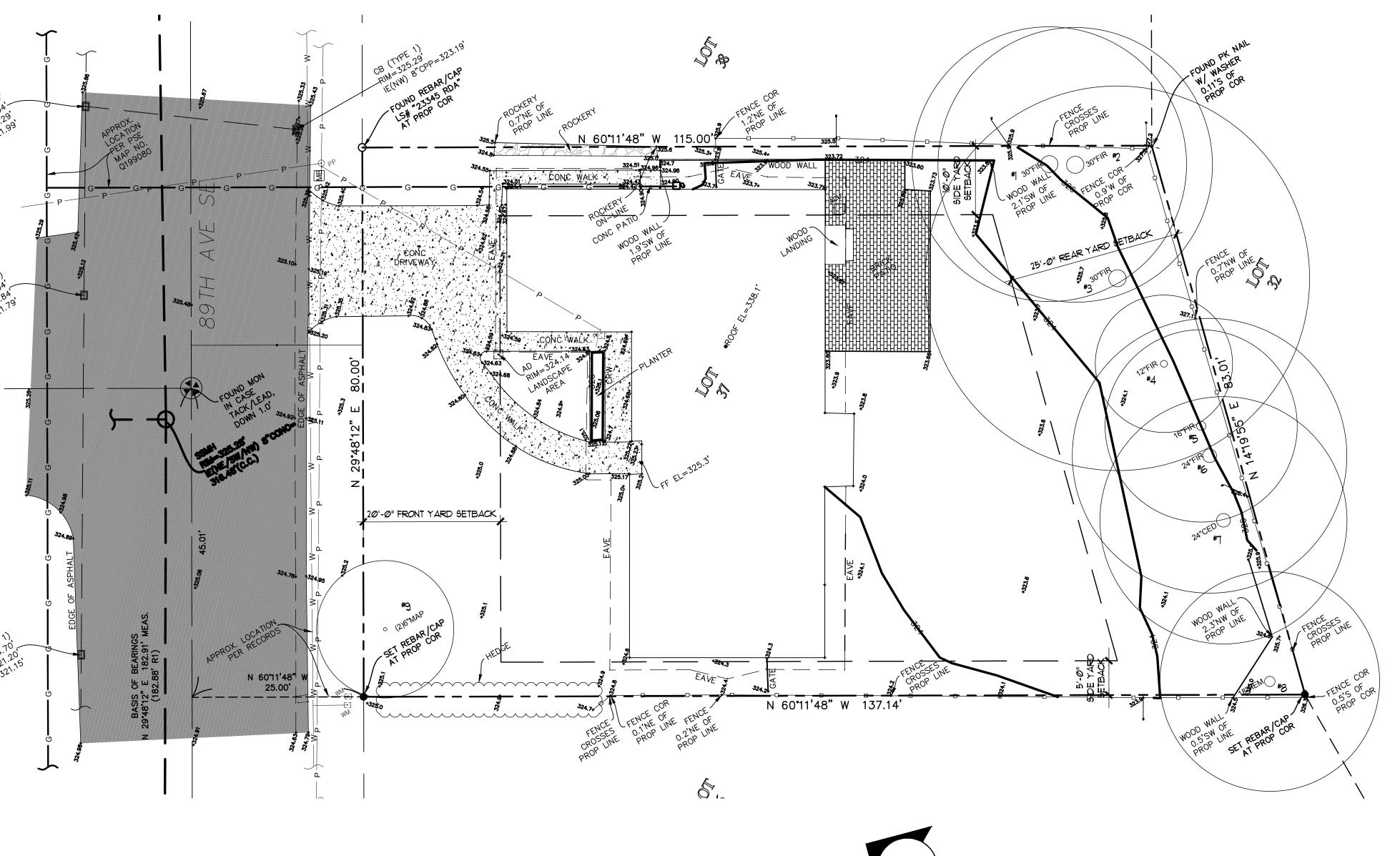
01/18/21

JGM/CSP

REVISION HISTORY

SHEET NUMBER 1 OF 1

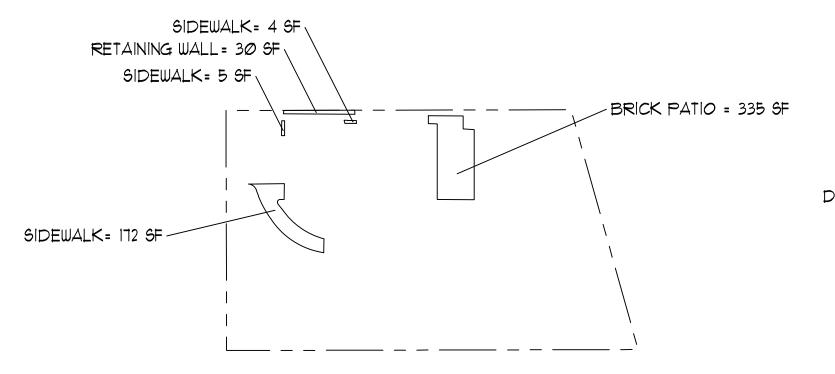
1" = 10'



DEMOLITION SITE PLAN

#### EXISTING HARDSCAPE SURFACE COVERAGE

		SCHILLE	COVERNO	
TOTAL LOT AREA:		10,086 S.F.		
ALLOWABLE = 10,086 * .0	79 =	9Ø7.74 S.F.		
UNCOVERED PATIO = WALKWAY =		335 S.F. 181 S.F.		
RETAINING WALL =		3Ø S.F.		
TOTAL =		546 S.F. OR 3	361.74 SF REMAINING OK	



#### DEMOLITION NOTES

THE CONTRACT FOR CONSTRUCTION CONTAINS ALL DEMOLITION WORK REQUIRED TO PREPARE THE SITE FOR THE CONTRACTED CONSTRUCTION WORK, THE DEMOLITION DRAWINGS AND NOTES ARE PROVIDED TO OUTLINE THE GENERAL SCOPE OF WORK ONLY. THE CONTRACTOR MUST VISIT THE SITE RPIOR TO BIDDING AND DETERMINE THE FULL EXTENT OF THE WORK AND BE RESPONSIBLE FOR

THE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UTILITIES AND SERVICES AT THE SITE PRIOR TO BEGINNING ANY DEMOLITION OR SITE IMPROVEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF UTILITY ITEMS DAMAGED DURING DEMOLITION AND THROUGHOUT CONSTRUCTION.

NO MATERIALS FROM THE DEMOLITION ARE TO BE STOCKPILED ON ADJACENT PROPERTIES OR PUBLIC RIGHT-OF-WAYS. ALL RUBBISH AND PRODUCTS OF DEMOLITION ARE TO BE REMOVED FROM

ADJUST ALL VALVE BOXES, MANHOLE RIMS AND OTHER UTILITY COVERS TO NEW GRADES. COORDINATE INSTALLATION OF NEW UTILITIES TO ENSURE PROPER GRADE AND LOCATION FOR NEW

THE OWNER IS RESPONSIBLE FOR SALVAGING, ANY ON-SITE MATERIALS PRIOR TO DEMOLITION, OR

ALL ITEMS THAT ARE DEMOLISHED OR REMOVED FROM THE SITE AND ARE NOT TO BE SALVAGED OR RE-INCORPORATED INTO THE CONSTRUCTION, ARE THE PROPERTY OF THE CONTRACTOR.

ALL EXISTING CONCRETE FOUNDATIONS SHALL BE REMOVED OR BURIED AS REQUIRED TO PREVENT INTERFERENCE WITH NEW OR FUTURE CONSTRUCTION.

IF DURING THE COURSE OF WORK THE EXISTANCE OF ASBESTOS NOT DETECTED AND DEALT WITH BY HAZARDOUS MATERIAL SURVEY IN THE STRUCTURE OR THE BUILDING IS OBSERVED, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER AND ARCHITECT REGARDING REMOVAL OR ENCAPSULATION OF THE ASBESTOS MATERIAL. THE CONTRACTOR SHALL NOT PERFORM ANY WORK PERTINENT TO THE ASBESTOS MATERIAL PRIOR TO RECEIPT OF SPECIAL INSTRUCTIONS FROM OWNER THROUGH THE ARCHITECT.

THE EXTENTS OF DEMOLITION SHOWN IS APPROXIMATE. FIELD VERIFY EXISTING CONDITIONS AND

DEMOLITION AND REMOVAL WORK SHALL INCLUDE SITE PREPARATION FOR NEW WORK

PERFORMANCE OF DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF THE T.E.S.C.P. REFER TO THE LANDSCAPE PLANS FOR SALVAGING AND PROTECTION OF EXISTING LANDSCAPING. X-THRU TREES TO BE REMOVED.

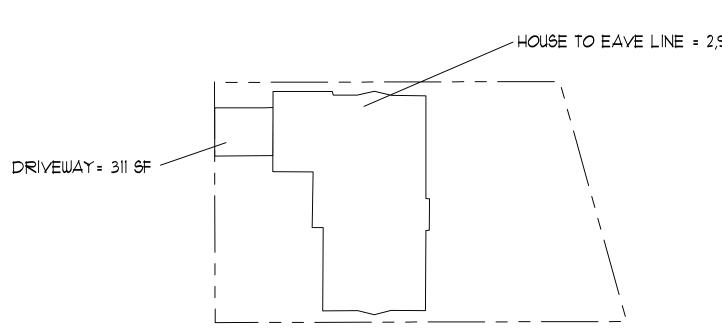
#### ALLOWABLE LOT COVERAGE

Lot IIICII DONIT	327.2 FT.
LOT HIGH POINT =	
LOT LOW POINT =	323,6 FT.
ELEVATION DIFFERENCE =	3.6 FT.
HORIZ, DIST, BETWEEN H.P. & L.P. =	44.5 FT.
LOT SLOPE (3.6 FT. / 44.5 FT.= 0.08089 X 100) =	8. <b>0</b> 9 %
TOTAL ALLOWABLE LOT COVERAGE =	40% MAX.

#### EXISTING BUILDING LOT COVERAGE

TOTAL LOT AREA:	10,086 S.F.
ALLOWABLE 40%= 10,086 * .40 =	4,034.4 S.F.
EVICTING LIGHT	2000 65
EXISTING HOUSE =	2,999 S.F.
EXISTING DRIVEWAY =	311 S.F.
TOTAL EXISTING HOUSE & DRIVEWAY =	3,310 S.F.

32.8 % OR 724.4 SF REMAINING (OK) (10,086 SF / 3,310 SF) =



ADJACENT PROPERTIES, STREETS AND WALKS ARE TO BE PROTECTED FROM DAMAGE AT ALL

COORDINATING SALVAGE OF ITEMS WITH THE CONTRACTOR IN A TIMELY MANNER

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY ON-SITE MATERIAL NOT INCORPORATED INTO THE NEW CONSTRUCTION.

ITEMS THAT ARE TO BE REMOVED FROM THE BUILDING AND THEN INCORPORATED INTO THE NEW

CONSTRUCTION ARE TO BE SECURED BY THE CONTRACTOR ON OR NEAR THE SITE AND BE PROTECTED FROM WEATHER AND DAMAGE UNTIL THEY ARE INCORPORATED INTO THE NEW FACILITY.

CONSULT WITH THE OWNER AND ARCHITECT AS REQUIRED.

THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ENGINEERING AND SURVEY DATA PROVIDED BY

TOTAL ALLOWABLE LOT COVERAGE =	40% MAX.
LOT SLOPE (3.6 FT. / 44.5 FT.= 0.08089 × 100) =	8.09 %
HORIZ. DIST. BETWEEN H.P & L.P. =	44.5 FT.
ELEVATION DIFFERENCE =	3,6 FT.
LOT LOW POINT =	323.6 FT.
LOT HIGH FOINT =	<i>32</i> 1.2 F1.

ALLOWABLE 40%= 10,086 + .40 =	4,Ø34.4 S.F.
EXISTING HOUSE =	2, <del>999</del> 6F.
EXISTING DRIVEWAY =	311 S.F.
TOTAL EXISTING HOUSE & DRIVEWAY =	3,310° S.F.
CURRENT EXISTING LOT COVERAGE	

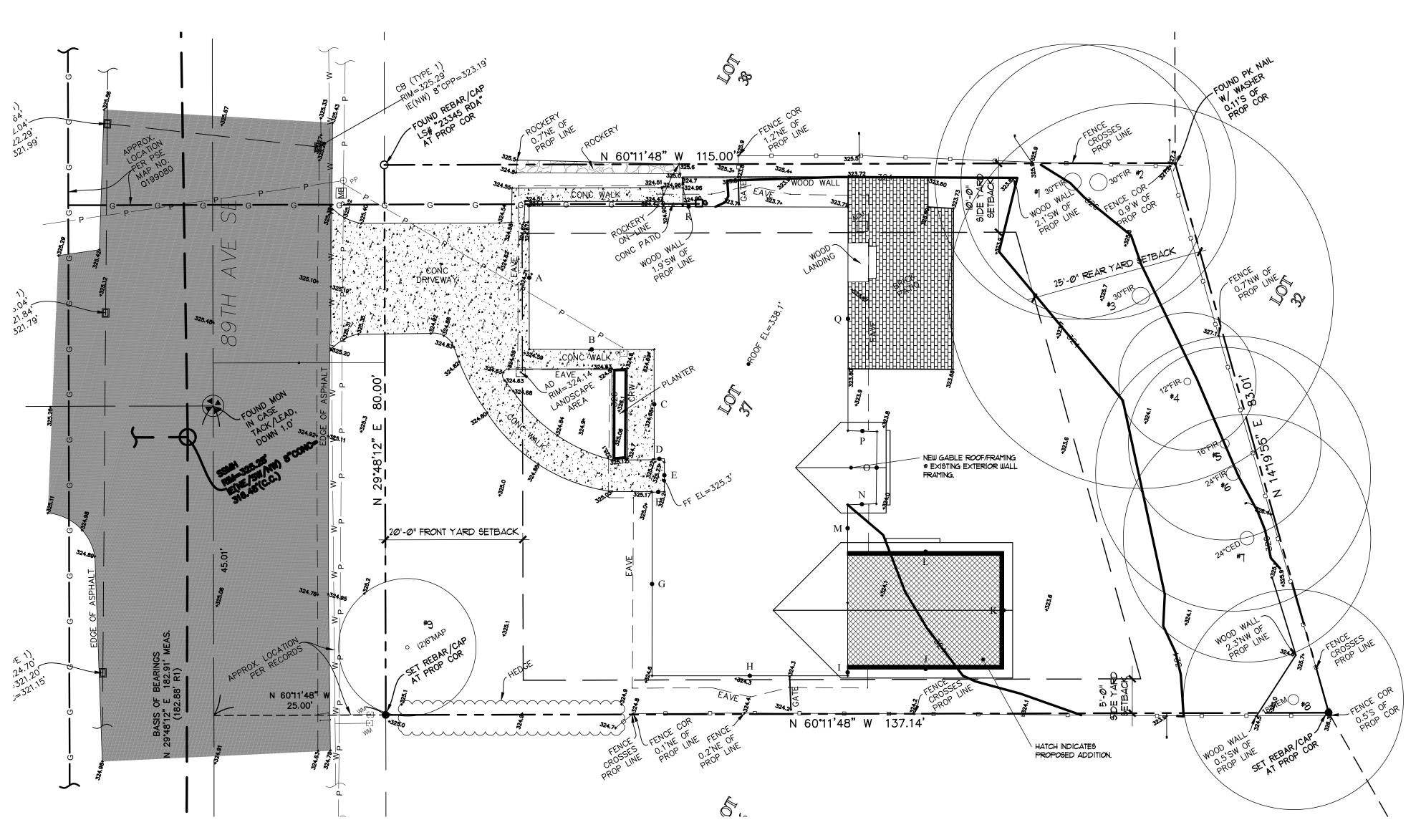
- HOUSE TO EAVE LINE = 2,999 SF

NO. DATE REVISION

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> **DEMOLITION** SITE PLAN



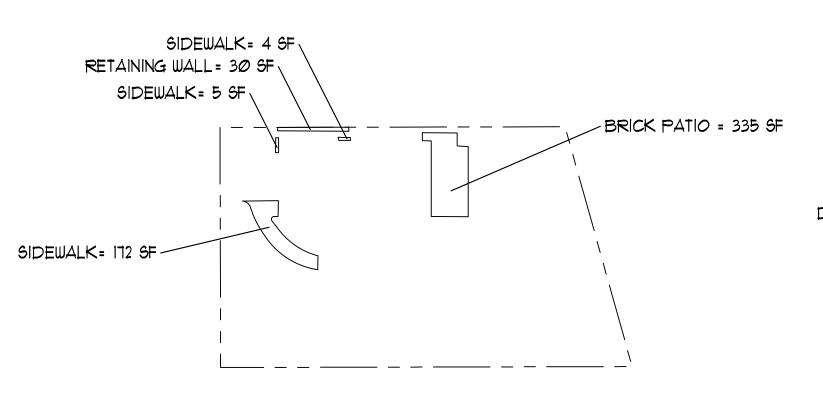
### PROPOSED HARDSCAPE SURFACE COVERAGE

TOTAL LOT AREA: 10,086 S.F. 907.74 S.F. ALLOWABLE = 10,086 \* .09 = EXISTING UNCOVERED PATIO = EXISTING WALKWAY = 335 S.F. 181 S.F. EXISTING RETAINING WALL = 3Ø S.F. TOTAL = 546 S.F. OR 361.74 SF REMAINING OK

Peluso Additon Gross Floor Area Revised 03/08/2022			
	Lot Area	Code factor	
Allowable Area:	10,086	0.40	4,034
Proposed Areas:			
Lower Floor:			(
Main Floor:			2,244
Upper Floor:			(
Garages:			482
Covered Deck:			(
Total Area:			2,726
Proposed % of Lot Area:			27%

Point	Length	Mid. Elev	Pro
A	20.83	324.71	6763
В	18.17	324.60	5897
С	15.92	324.68	5168
D	1.50	325.22	487
E	4.83	325.22	1570
F	1.75	325.20	569
G	26.67	324.80	8662
Н	28.42	324.30	921
I	1.00	234.20	234
J	22.67	324.10	734
K	17.00	323.70	550
L	22.67	323.80	734
М	6.83	324.10	221
N	4.17	324.00	135
0	10.50	323.90	340
Р	4.25	323.80	137
Q	32.50	323.84	1052
R	46.33	324.90	1505
	286.01		9268
	286.01	J	926
Ave. Bldg. Elevation: Height Allowed:			,

PROPOSED ARCHITECTURAL SITE PLAN 5' 10' 20'
SCALE: 1" = 10'-0"



#### PROJECT ADDRESS

5628 89th AVE. SE MERCER ISLAND, WASHINGTON 98040

ZONING CLASSIFICATION

CITY OF MERCER ISLAND: R9.6

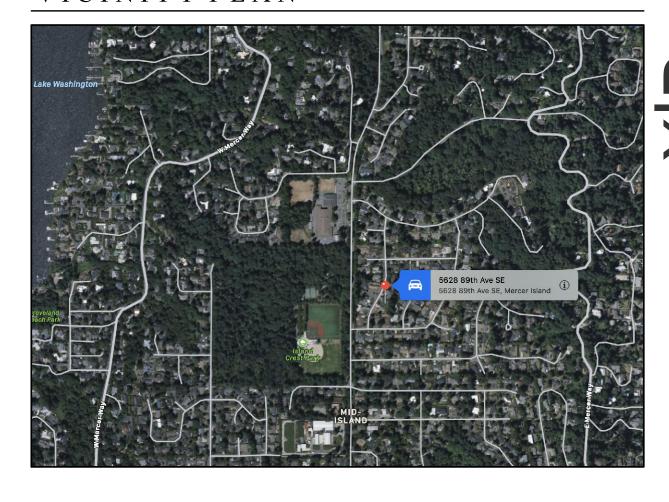
#### LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED RECORDING \* 20101007002053)

LOT 31, EL DORADO ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 62 OF PLATS, PAGE 7, IN KING COUNTY, STATE OF WASHINGTON

PARCEL NO.: 2287000370

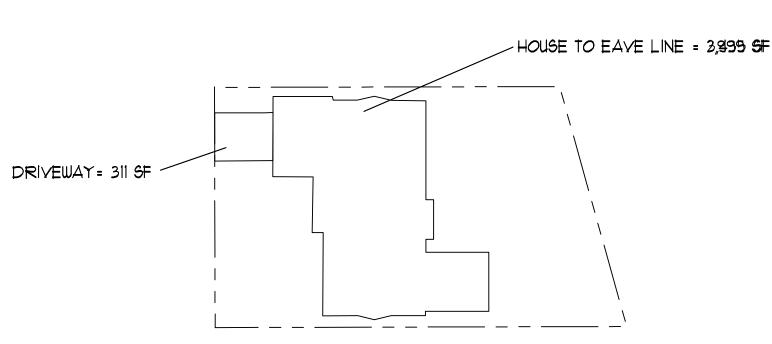
### VICINITY PLAN



#### PROPOSED BUILDING LOT COVERAGE

TOTAL LOT AREA: ALLOWABLE 40%= 10,086 \* .40 = 10,086 S.F. 4,034.4 S.F. 2,999 S.F. 436 S.F. EXISTING HOUSE = PROPOSED HOUSE ADDITION = EXISTING DRIVEWAY = 311 S.F. TOTAL EXISTING + PROPOSED HOUSE & DRIVEWAY = 3,746 S.F.

CURRENT PROPOSED LOT COVERAGE 37.1 % OR 288.4 SF REMAINING (OK) (3,746 SF / 10,086 SF) =

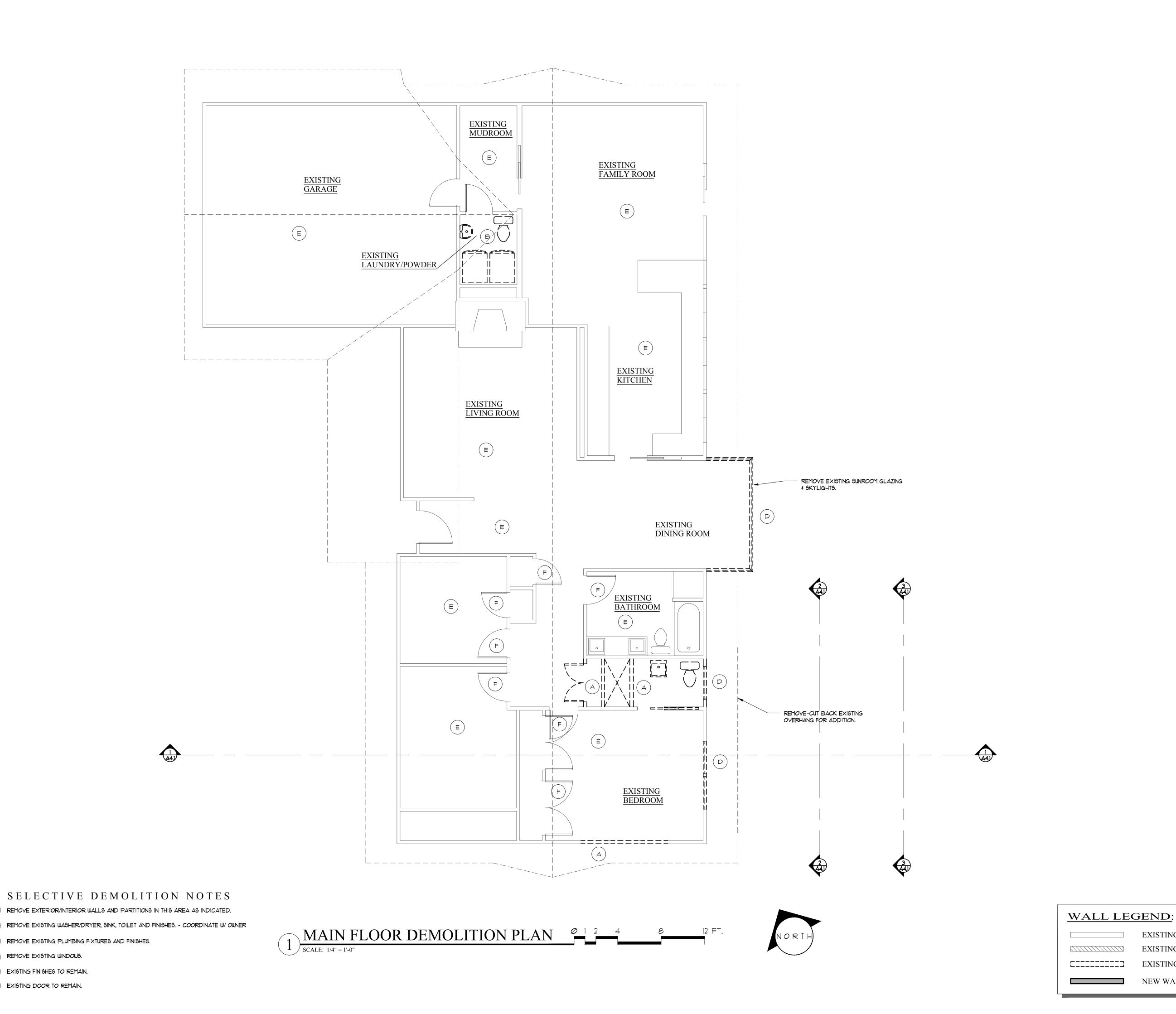


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ARCHITECTURAL SITE PLAN



REMOVE EXISTING WINDOWS.

EXISTING FINISHES TO REMAIN.

EXISTING DOOR TO REMAIN.

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MAIN FLOOR DEMO PLAN

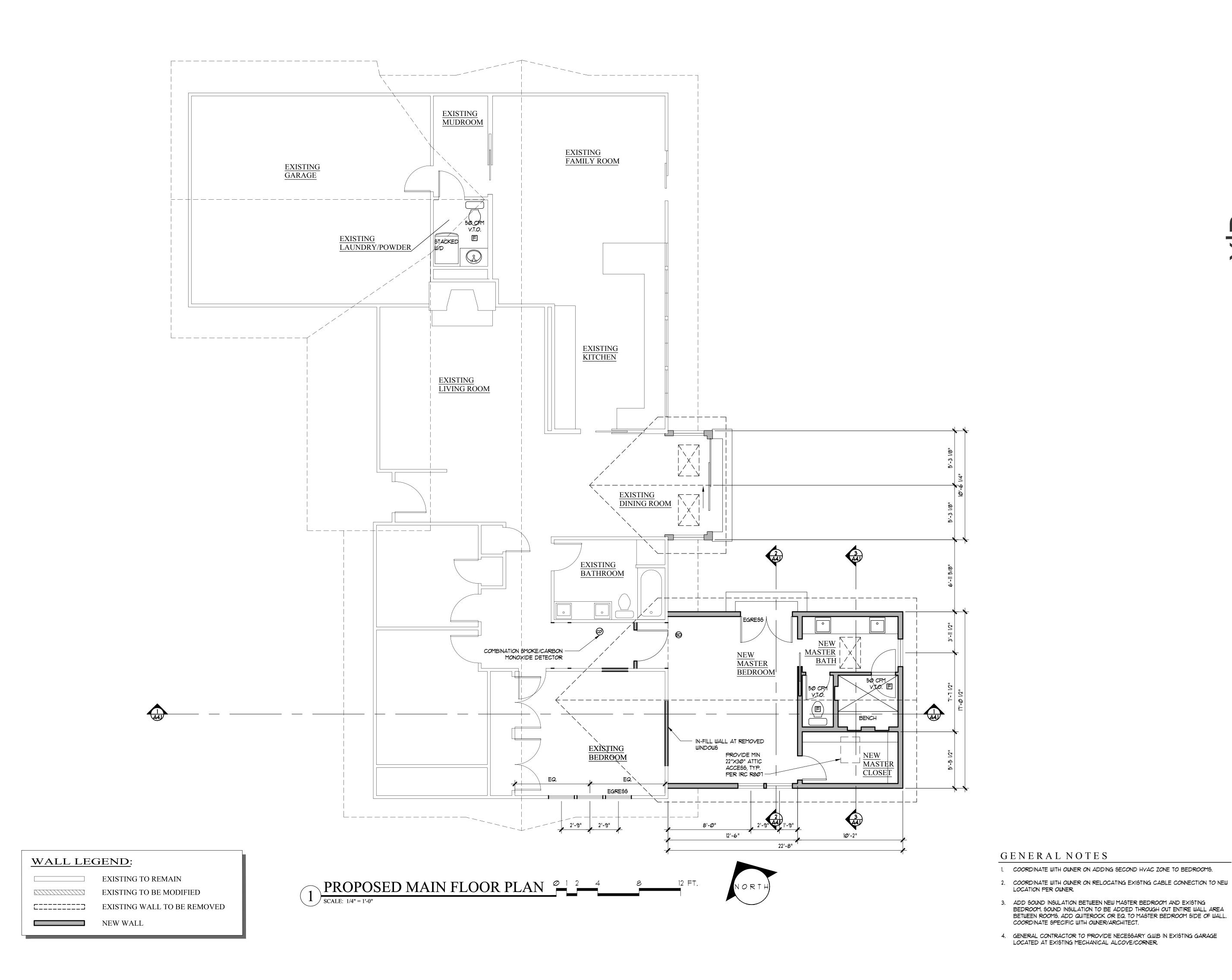
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EXISTING TO REMAIN

NEW WALL

EXISTING TO BE MODIFIED

EXISTING WALL TO BE REMOVED



EXURBAN DESIGN

SO ADDITION

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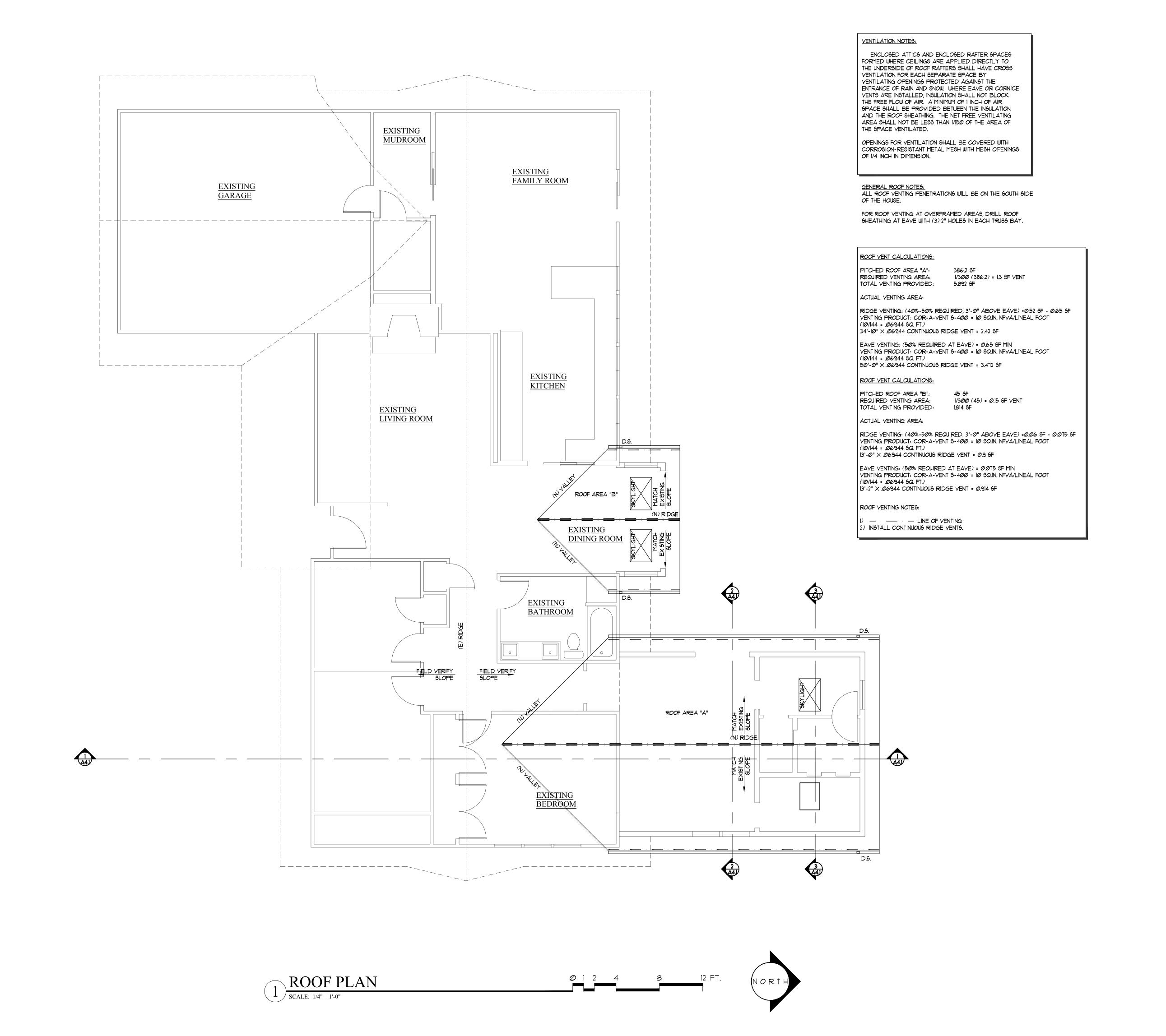
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PROPOSED MAIN FLOOR PLAN

A2.2



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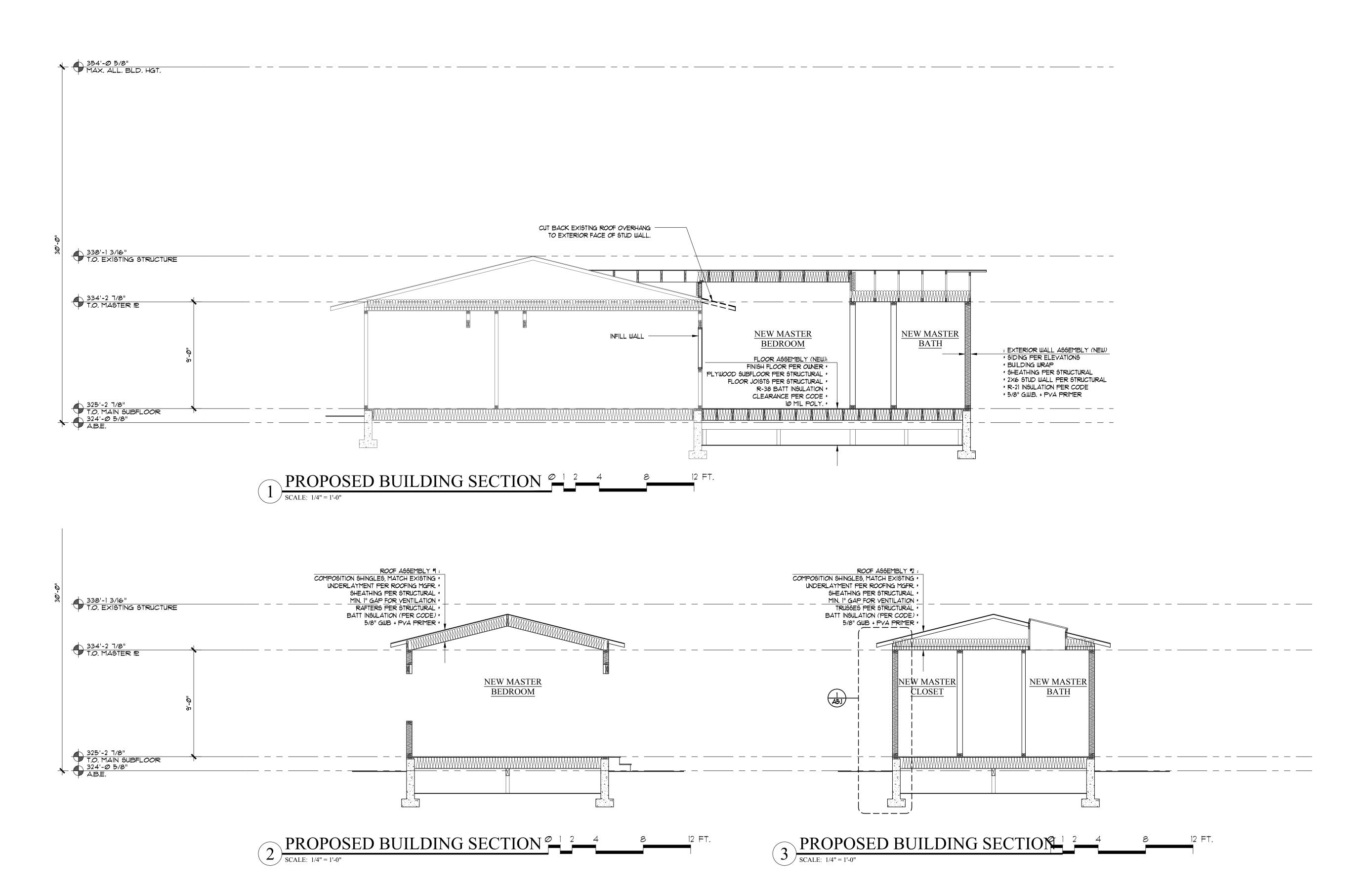
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PROPOSED ROOF PLAN

A2.4



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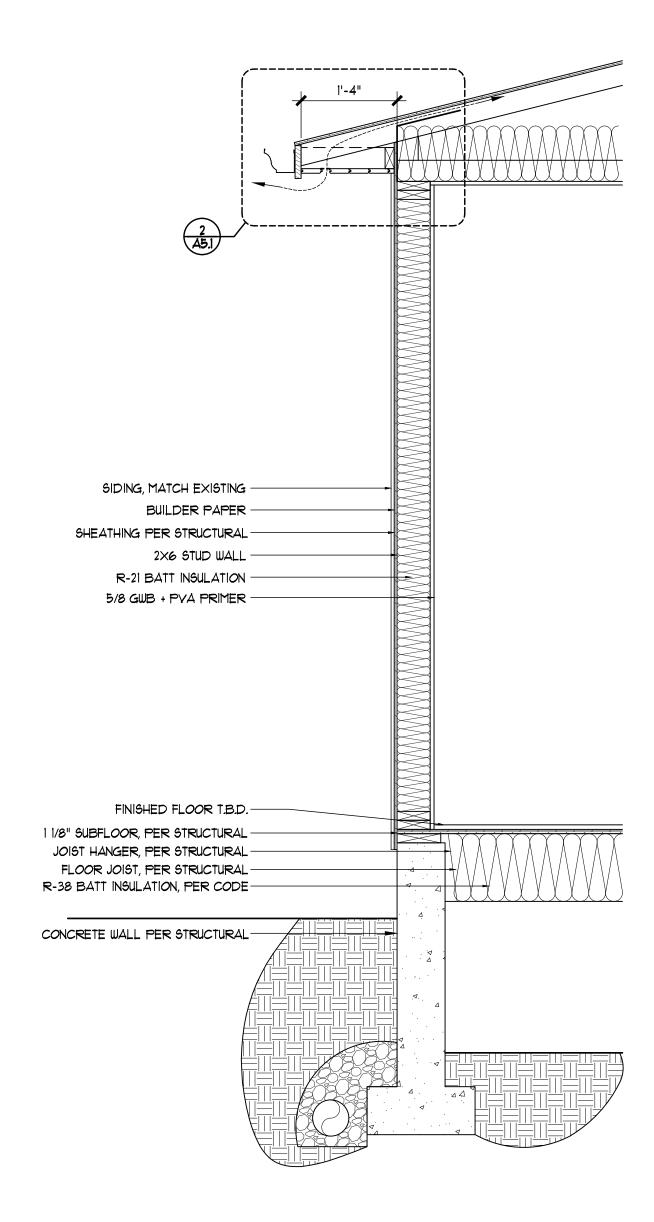
> BUILDING SECTIONS

A4.1

A4.1

TYP. EAVE DETAIL

SCALE: 1 1/2" = 1'-0"



TYP. WALL SECTION

SCALE: 3/4" = 1'-0"

SIGNS

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> **EXTERIOR DETAILS**

### LIVE LOADS: FLOOR. DECKS.

DEAD LOADS: ROOF..... 15 PSF FLOOR. 15 PSF 15 PSF

LATERAL: BASIC WIND SPFFD.110 MPH (ASCE 7-16 Ch. 26-27) EXPOSURE CATEGORY, B  $K_{zt} = 1.30$ (DIRECTIONAL PROCEDURE)  $S_{S}^{-} = 145.4$  $S_{DS} = 116.3$ (ASCE 7-16 Ch. 12.14) (SIMPLIFIED METHOD) SEISMIC DESIGN CATEGORY, D

> SITE CLASS, D SITE COEFFICIENT,  $F_a = 1.2$

ASSUMED BEARING CAPACITY OF 1500PSF. ALL EXTERIOR FOOTINGS SHALL EXTEND A MINIMUM OF 1'-6" BELOW ADJACENT EXTERIOR FINISHED GRADE.

'c = 2500 PSI @ 28 DAYS. MINIMUM 5½ SACKS OF CEMENT PER CUBIC YARD OF CONCRETE AND A MAXIMUM OF 6% GALLONS OF WATER PER 94# SACK OF CEMENT. MAXIMUM SIZED AGGREGATE IS 1" MAXIMUM SLUMP IS 4". ALL PHASES OF WORK PERTAINING TO THE CONCRETE CONSTRUCTION SHALL CONFORM TO THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE. ALL REINFORCED STEEL DOWELS, ANCHOR BOLTS AND OTHER INSERTS SHALL BE SECURED IN POSITION PRIOR T POURING CONCRETE. ANCHOR BOLTS FOR SILL PLATES TO FOUNDATION WALLS SHALL BE A MINIMUM OF 5%" WITH A MINIMUM OF 7" EMBEDMENT INTO CONCRETE AND A MAXIMUM SPACING OF 48" O.C. MINIMUM OF 2 BOLTS PER SILL PLATE. ONE BOLT TO BE PLACED WITHIN 12" OF EACH END OF THE SILL PLATE.

(CODE ALTERNATIVE R402.2 51/2 SACK 2500PSI CONCRETE MIXES IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE SECTION 1904.2 ARE EQUIVALENT TO 3000 PSI CONCRETE FOR WEATHERING POTENTIAL. IN ADDITION AIR-ENTRAINMENT IS NOT REQUIRED TO ADDRESS WEATHERING.)

REINFORCING STEEL:
ALL REINFORCING STEEL SHALL BE PLACED IN CONFORMANCE WITH
THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION BY CRSI. DEFORMED REINFORCING STEEL BARS SHALL CONFORM TO ASTM GRADE 60. ALL REINFORCING BAR BENDS SHALL BE MADE COLD, WITH A MINIMUM RADIUS OF 6 BAR DIAMETERS. CORNER BARS (2'-0" BEND) SHALL BE PROVIDED FOR ALL HORIZONTAL REÌNFORCEMENT. LAP ALL BARS A MINIMUM OF 48 BAR DIAMETERS UNLESS NOTED OTHERWISE. UNLESS NOTED OTHERWISE ON THE DRAWINGS REINFORCING STEEL SHALL HAVE THE FOLLOWING

CONCRETE CAST AGAINST EARTH... CONCRETE EXPOSED TO EARTH OR WEATHER #6 THRU #18 BARS... 5 BAR AND SMALLER. CONCRETE NOT EXPOSED TO EARTH OR WEATHER #11 BAR AND SMALLER... SLAB ÖN GRADE (FROM THE SURFACE).

WELDED WIRE FABRIC (WWF):

WWF SHALL CONFORM TO ASTM A-185. WWF SHALL BE LAPPED ONE CROSSWIRE PLUS 2" (i.e. 8" FOR 6X6 MESH). WWF SHALL BE CHAIRED IN POSITION WITH A MAXIMUM CHAIR SPACING OF 4'

PRESSURE TREATED WOOD:
ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, EARTH, OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED WOOD IN ACCORDANCE WITH AWPA U1 AND M4 STANDARDS

ALL MISCELLANEOUS HANGERS AND HARDWARE TO BE SIMPSON OR APPROVED EQUAL. ALL HANGERS SHALL BE FASTENED TO WOOD WITH PROPER NAILS AND ALL NAIL HOLES FILLED. ALL NAILS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE BE HOT DIPPED GALVANIZED PER ASTM STANDARD 153 AND I.B.C. SECTION 2304.9.5. ALL METAL CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE ZMAX (HDG PER ASTM A653, CLASS G-185) OR EQUAL.

FLOOR SHEATHING:

FLOOR SHEATHING SHALL BE 34" TONGUE AND GROOVE, A.P.A. RATED SHEATHING WITH A SPAN RATING OF 48/24, WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS. UNLESS NOTED OTHERWISE. NAIL WITH 10d COMMON NAILS @ 6" O.C. AT SUPPORTED PANEL EDGES, AND @ 12" O.C. AT INTERMEDIATE SUPPORTS.

ROOF SHEATHING SHALL BE  $^{15}$ <sub>32</sub>" A.P.A. RATED PLYWOOD OR  $\frac{1}{16}$ " OSB A.P.A. RATED SHEATHING WITH A SPAN RATING OF 32/16, WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS. UNLESS NOTED OTHERWISE, NAIL WITH 8d COMMON NAILS @ 6" O.C. AT SUPPORTED PANEL EDGES, AND @ 12" O.C. AT INTERMEDIATE SUPPORTS.

WALL SHEATHING SHALL BE  $\frac{1}{2}$ " A.P.A. RATED PLYWOOD OR  $\frac{1}{16}$ " OSB A.P.A. RATED SHEATHING WITH A SPAN RATING OF 24/0. PANEL END JOINTS SHALL OCCUR AT SUPPORTS. NAIL ALL PANEL EDGES WITH 8d COMMON NAILS @ 6" O.C. AT SUPPORTED PANEL EDGES AND @ 12" O.C. AT INTERMEDIATE SUPPORTS.

WALL SHEATHING:

PROVIDE FULL DEPTH BLOCKING FOR JOIST AT THE SUPPORTS. FLUSH BEAMS (FB) AND HEADERS NOT CALLED OUT ON THE PLANS SHALL BE (2) 2x8 DOUG-FIR #2. ALL LAMINATED BEAMS SHALL BE SPIKED TOGETHER WITH 16d NAILS @ 6" O.C. STAGGERED

BEARING WALL FRAMING:
ALL DOOR AND WINDOW HEADERS NOT CALLED OUT ON THE PLANS SHALL BE 4x8 DOUGLAS-FIR #2 WITH (1) CRIPPLE STUD AND (1) KING STUD ON EACH END FOR OPENINGS 5' AND LESS AND (2) CRIPPLE STUDS AND (1) KING STUD ON EACH END FOR OPENINGS GREATER THAN 5'. ALL COLUMNS NOT CALLED OUT ON THE PLANS SHALL BE A MINIMUM OF TWO LAMINATED STUDS. NAIL LAMINATED COLUMNS TOGETHER WITH (2) 16d NAILS @ 12" O.C. WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATES AND BOTTOM PLATES TO EACH STUD WITH MINIMUM (2) 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d NAILS AT 16" O.C. STAGGERED. LAP AND FACE NAIL NAIL TOP PLATES WITH (3) 16d NAILS @ EACH CORNER AND INTERSECTION. STAGGER TOP PLATE SPLICES A MINIMUM OF 48" AND NAIL w/ (4) 16d NAILS EACH SIDE OF SPLICE. FACE NAIL BOTTOM PLATE WITH (2) 16d NAILS AT 16" O.C. OR PER SHEARWALL SCHEDULE. PROVIDE (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER AT CONTACT SURFACES BETWEEN ALL WOOD AND

PRE-MANUFACTURED FLOOR JOIST:
JOIST SHALL BE MANUFACTURED IN A PLANT APPROVED FOR FABRICATION BY THE BUILDING DEPARTMENT AND UNDER THE SUPERVISION OF AN APPROVED THIRD PARTY INSPECTION AGENCY. EACH JOIST SHALL BE IDENTIFIED BY A STAMP INDICATING THE JOIST TYPE, C.A.B.O. NER REPORT NUMBER, MANUFACTURERS NAME, PLANT NUMBER, AND THE INDEPENDENT INSPECTION AGENCY LOGO AND EVALUATION REPORT NUMBER.

PRE-MANUFACTURED ROOF TRUSSES:

ROOF TRUSSES SHALL BE FABRICATED OF DOUGLAS-FIR/LARCH OR HEM-FIR. TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS STAMPED, SIGNED AND DATED BY A WASHINGTON STATE LICENSED STRUCTURAL ENGINEER. ALL TRUSS PLATES AND CONNECTORS SHALL BE I.C.B.O. APPROVED. VERIFY MECHANICAL UNIT LOADS AND LOCATIONS WITH SUPPLIER AND FURNISH ADDITIONAL TRUSSES AS REQUIRED. SUBMIT TRUSS SHOP DRAWINGS TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

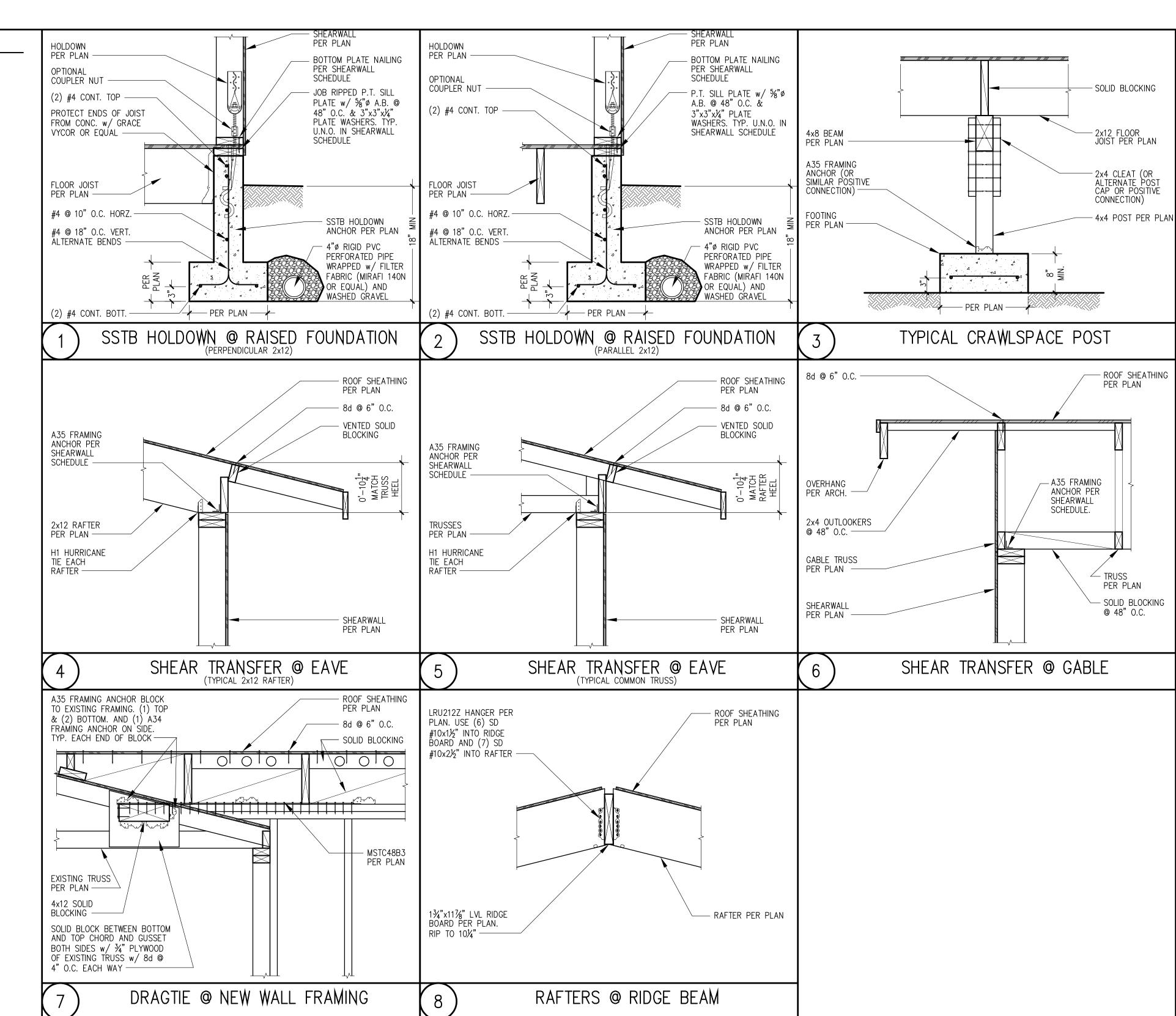
**GLUED-LAMINATED TIMBERS:** 

LAMINATED TIMBERS SHALL BE DOUGLAS-FIR/LARCH KILN DRIED STRESS GRADED COMBINATION 24F-V4 ( $F_b = 2400 \text{ PSI}$ ,  $F_v = 109 \text{ PSI}$ ) FOR SIMPLE SPANS AND 24F-V8 FOR CANTILEVER AND CONTINUOUS BEAMS. A.I.T.C. CERTIFICATE OF PERFORMANCE REQUIRED. COLUMNS SHALL CONFORM TO TO A.I.T.C. STANDARDS 117.

ALL GRADES SHALL CONFORM TO WWPA GRADING RULES FOR WESTERN LUMBER. LATEST EDITION. PROVIDE CUT WASHERS UNDER ALL NUTS AND BOLTS BEARING AGAINST WOOD. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL STRUCTURAL LUMBER SHALL BE AS NOTED BELOW:

EDAMING CRADES

<u>FRAMING GRADES:</u>	
2x ROOF RAFTERS	DOUG-FIR/LARCH #2 $F_b = 900PSI$
2x FLOOR/DECK JOIST	DOUG-FIR/LARCH #2 $F_b = 900PSI$
4x BEAMS	DOUG-FIR/LARCH #2 $F_b = 900PSI$
6x BEAMS	DOUG-FIR/LARCH #1 $F_b = 1350PSI$
4x COLUMNS	DOUG-FIR/LARCH #1 $F_b = 1000PSI$
6x COLUMNS	· , · · · · =
2x STUDS	$HEM-FIRF_b = 675PSI$
LSL	LSL 1.55E $F_b = 2325PSI$
LVL	LVL 2.0E $F_{h} = 2600PSI$
PSL	$PSL 2.2EF_b = 2900PSI$
GLB	$GLU-LAM (24F-V4)F_b = 2400PSI$



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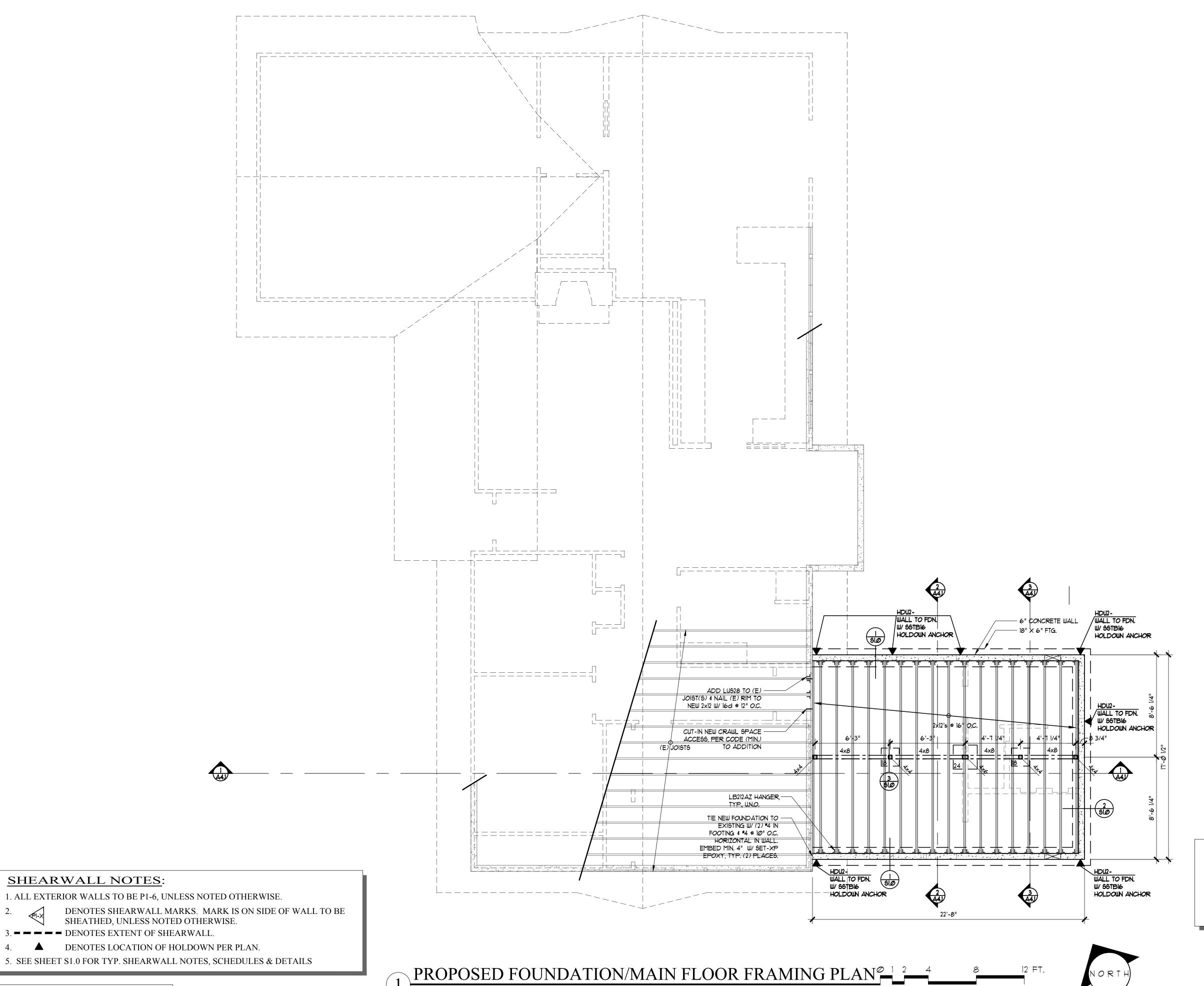
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Issued Date Permit Plans 03/07/2

22-002

STRUCTURAL NOTES





**VENTILATION CALCULATIONS:** 

CRAWL SPACE AREA = 356 SF VENT AREA REQUIRED = 356/300 = 1.19 SF PROVIDE (2) 8" x 16" VENT OPENINGS (2) x 0.88 SF = 1.76 SF (PER IRC.R4082, WASHINGTON STATE AMENDMENT) NO. DATE REVISION

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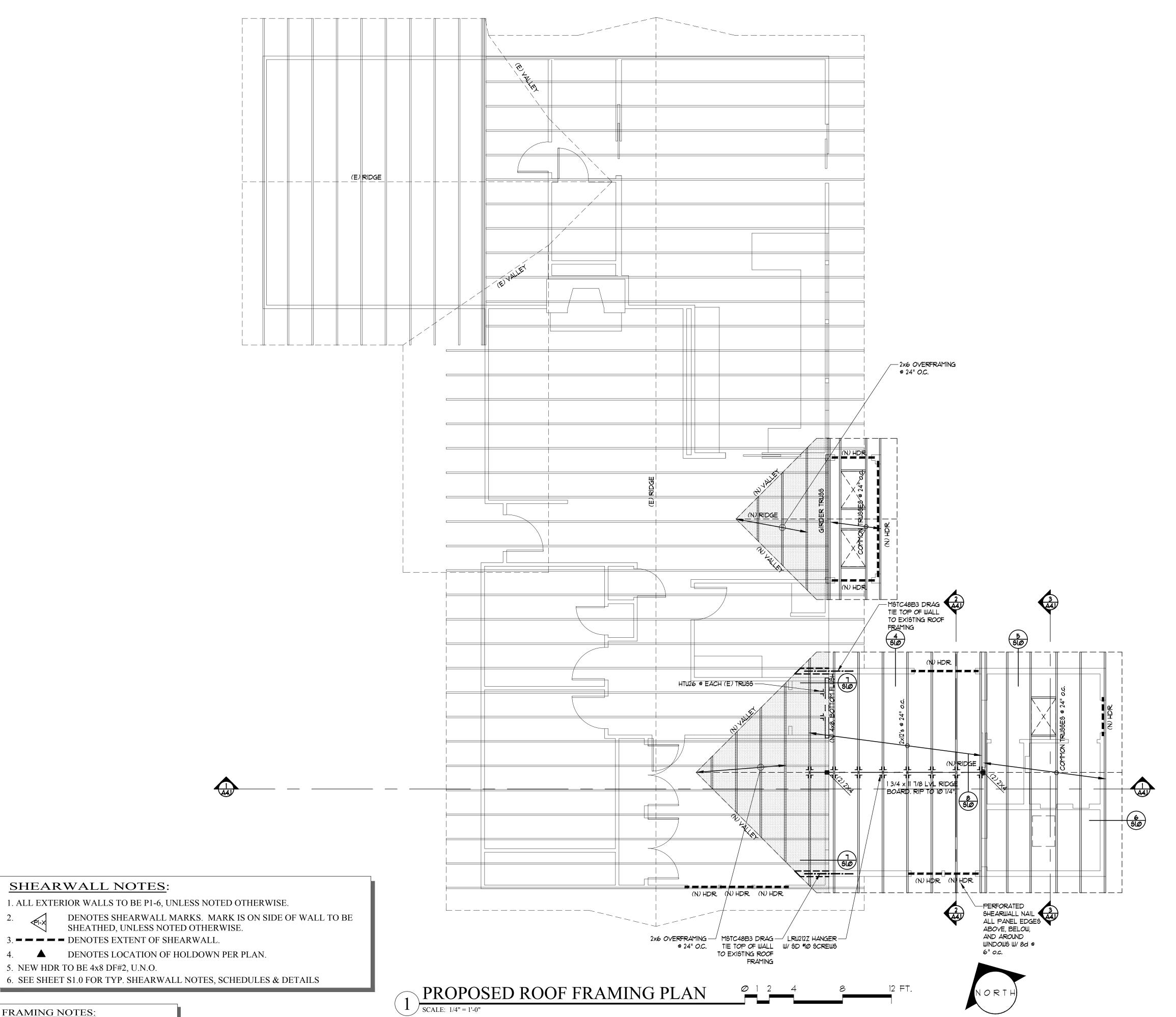
FOUNDATION & MAIN FLOOR FRAMING PLAN

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PROPOSED FOUNDATION/MAIN FLOOR FRAMING PLAN 2 4 SCALE: 1/4" = 1'-0"

3. — — — DENOTES EXTENT OF SHEARWALL.

FRAMING NOTES: BEARING WALL



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ROOF FRAMING PLAN

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**SHEARWALL NOTES:** 

5. NEW HDR TO BE 4x8 DF#2, U.N.O.

FRAMING NOTES:

BEARING WALL